



CHAIR FRANCISCO SOLORIO
VICE CHAIR MARIO LUA
COMMISSIONER FERNANDO DIAZ
COMMISSIONER FLOR SANCHEZ
COMMISSIONER NICOLE MOHR

CITY OF SAN FERNANDO

PLANNING & PRESERVATION COMMISSION MEETING AGENDA SUMMARY MONDAY, APRIL 13, 2026 – 5:30 PM

CITY HALL COUNCIL CHAMBERS
117 MACNEIL STREET
SAN FERNANDO, CALIFORNIA 91340

PUBLIC PARTICIPATION OPTIONS

Please visit the City's YouTube channel to live stream and watch previously recorded Planning and Preservation Commission meetings, which is also available with Spanish subtitles at: <https://www.youtube.com/c/CityOfSanFernando>

In accordance with the Americans with Disabilities Act of 1990, if you require a disability-related modification/accommodation to attend or participate in this meeting, including in-person translation services, or other services please call the Community Development Department at (818) 898-1227 or email at communitydevelopment@sanfernando.gov at least 2 business days prior to the meeting.

SUBMIT PUBLIC COMMENT IN PERSON:

Members of the public may provide comments in person in the City Council Chambers during the Public Comments section of the Agenda by submitting a comment card to the Board Secretary.

SUBMIT PUBLIC COMMENT VIA EMAIL:

Members of the public may submit comments by email to communitydevelopment@sanfernando.gov no later than **12:00 p.m. the day of the meeting**, to ensure distribution to the Planning and Preservation Commission prior to consideration of the agenda. Comments received via email will be distributed to the Planning and Preservation Commission and made part of the official public record of the meeting.

CALL-IN TO PROVIDE PUBLIC COMMENT LIVE AT THE MEETING:

Members of the Public may **call-in between 5:30 p.m. and 5:45 p.m.** Comments will be heard in the order received, and limited to three minutes. If necessary, the call-in period may be extended by the Chair. Note: This is audio only and no video.

Call-in Telephone Number: (669) 900-6833
Meeting ID: 896 2370 9376
Passcode: 194996

When connecting to the Zoom meeting to speak, you will be placed in a virtual "waiting area," with your audio disabled, until it is your turn to speak and limited to three minutes.

PLANNING AND PRESERVATION COMMISSION

Meeting Notice and Agenda –April 13, 2026

Page 2 of 4

CALL TO ORDER/ROLL CALL

TELECONFERENCE REQUESTS/DISCLOSURE

Recommend consideration of requests received for remote teleconference meeting participation made by members of the City’s legislative bodies, as permitted under the provisions of Assembly Bill (AB) 2449, Government Code Section 54953, and the City of San Fernando adopted Resolution No. 8215, effective March 1, 2023.

PLEDGE OF ALLEGIANCE

Recommended the Chair request a Commissioner to lead the Pledge.

APPROVAL OF AGENDA

Recommend that the Planning and Preservation Commission approve the agenda as presented.

DECORUM AND ORDER

City Commissioners are appointed by City Council and must be free to discuss issues confronting the city in an orderly environment. Member of the public attending City Commission meetings shall observe the same rules of order and decorum applicable to the City Council ([SF Procedural Manual](#)). Any person making impertinent derogatory or slanderous remarks or who becomes boisterous while addressing a City Commission or while attending a City Commission meeting, may be removed from the room if the Presiding Officer so directs the Sergeant-At-Arms and such person may be barred from further audience before the City Commission.

PUBLIC STATEMENTS

Members of the public may **provide comments in person in the City Council Chambers** during the Public Comments section of the Agenda by submitting a comment card to the Board Secretary.

Members of the public may submit comments by email to communitydevelopment@sanfernando.gov no later than **12:00 p.m. the day of the meeting**, to ensure distribution to the Planning and Preservation Commission and made part of the official public record of the meeting.

Members of the public may provide a **live public comment by calling in between 5:30 p.m. and 5:45 p.m. CALL- IN INFORMATION: Telephone Number: (669) 900-6833; Meeting ID: 896 2370 9376; Passcode: 194996**

PLANNING AND PRESERVATION COMMISSION

Meeting Notice and Agenda –April 13, 2026

Page 3 of 4

CONSENT CALENDAR

1. CONSIDERATION TO APPROVE PLANNING AND PRESERVATION COMMISSION MEETING MINUTES FOR:

March 9, 2026 - Regular Meeting

PUBLIC HEARING

2. CONDITIONAL USE PERMIT (CUP2024-002) TO ALLOW A NEW DRIVE-THRU RESTAURANT AND CONTINUED USE OF AN EXISTING FREE-STANDING POLE SIGN; SITE PLAN REVIEW (SPR2024-029) FOR THE DEMOLITION OF A COMMERCIAL STRUCTURE AND CONSTRUCTION OF A 4,892 SQ. FT., 90-SEAT, CHICK-FIL-A DRIVE-THRU RESTAURANT WITH DETACHED ORDER POINT CANOPY, DRIVE-THRU CANOPY, OUTDOOR PATIO, AND OTHER IMPROVEMENTS, INCLUDING LANDSCAPING AND 74 PARKING SPACES; AND ADOPTION OF CLASS 32 CEQA EXEMPTION; AT 603 SAN FERNANDO RD WITHIN THE AUTO-COMMERCIAL DISTRICT OF THE SAN FERNANDO CORRIDORS SPECIFIC PLAN (SP-5).

Staff recommends the Planning and Preservation Commission:

- a. Conduct a Public Hearing; and
- b. After public testimony, adopt Planning and Preservation Commission (“Commission”) Resolution No. 2026-002 approving Conditional Use Permit CUP2024-002 and Site Plan Review SPR2024-029 allowing the operation of a new drive-thru restaurant, continued use of an existing free-standing pole sign, demolition of an existing 17,500 sq. ft. commercial structure, and the construction of new 4,892 sq. ft. 90-seat Chick-fil-A drive-thru restaurant, located at 603 San Fernando Rd within the Auto-Commercial District of the San Fernando Corridors Specific Plan (SP-5); and
- c. Approve Class 32 CEQA Exemption.

3. PROPOSED ZONING CODE UPDATE, SUBDIVISION CODE UPDATE, SPECIFIC PLAN-5 UPDATE, OBJECTIVE DESIGN STANDARDS, ZONING MAP UPDATE, GENERAL PLAN LAND USE ELEMENT AMENDMENT.

Staff recommends the Planning and Preservation Commission:

- a. Conduct a Public Hearing; and
- b. After Public Testimony, adopt Planning and Preservation Commission Resolution No. 2026-03 recommending the City Council adopt the Draft Zoning Code

PLANNING AND PRESERVATION COMMISSION

Meeting Notice and Agenda –April 13, 2026

Page 4 of 4

Update, Subdivision Code Update, Specific Plan-5 Update, Objective Design Standards, Zoning Map Update, General Plan Land Use Element Amendment; and

ADMINISTRATIVE REPORTS

4. GENERAL PLAN HOUSING ELEMENT ANNUAL PROGRESS REPORT FOR CALENDAR YEAR 2025

Staff recommends the Planning and Preservation Commission:

- a. Receive and File the General Plan Housing Element Annual Progress Report for Calendar Year 2025.

STAFF COMMUNICATION

COMMISSIONER UPDATES/REQUESTS TO AGENDIZE ITEM FOR DISCUSSION AT A FUTURE MEETING

Commissioner(s) may request to agendize an item for discussion at a future meeting, subject to approval by the Commission. Requests should align with the commission's scope of responsibility, adhere to City Council policies, and consider the availability of staff resources and budget constraints.

ADJOURNMENT The meeting will adjourn to its next regular meeting.

AFFIDAVIT OF POSTING

I hereby certify under penalty of perjury under the laws of the State of California that the foregoing agenda was posted on the City Hall bulletin board not less than 72 hours prior to the meeting.

Dated: _____ at: _____

Signed By: _____

Agendas and complete Agenda Packets (including staff reports and exhibits related to each item) are posted on the City's Internet Web site (www.sfcity.org). These are also available for public reviewing prior to a meeting at the Community Development Department Public Counter. Any public writings distributed by the Planning and Preservation Commission to at least a majority of the Commissioners regarding any item on this regular meeting agenda will also be made available at the Community Development Department Public Counter located at 117 Macneil Street, San Fernando, CA, 91340 during normal business hours. In addition, the City may also post such documents on the City's Web Site at www.sfcity.org. In accordance with the Americans with Disabilities Act of 1990, if you require a disability-related modification/ accommodation to attend or participate in this meeting, including auxiliary aids or services please call the Community Development Department Office at (818) 898-1227 or communitydevelopment@sanfernando.gov at least 48 hours prior to the meeting.

1

*This Page
Intentionally
Left Blank*



**CITY OF SAN FERNANDO
PLANNING AND PRESERVATION COMMISSION MINUTES**

MARCH 9, 2026 – 5:30 P.M.

**CITY HALL COUNCIL CHAMBERS
117 MACNEIL STREET
SAN FERNANDO, CALIFORNIA 91340**

THE FOLLOWING MINUTES ARE A SUMMARY OF ACTIONS TAKEN BY THE PLANNING COMMISSION. VIDEO AND AUDIO OF THE ACTUAL MEETING ARE AVAILABLE AT: <http://ci.san-fernando.ca.us/commissions-boards/#planning-preservation>

CALL TO ORDER/ROLL CALL

Chair Solorio called to order at 5:33 p.m.

PRESENT:

Commission: Chair Francisco Solorio, Vice Chair Mario Lua, Commissioners Fernando Diaz, Flor Sanchez and Nicole Mohr

Staff: Director of Community Development Ronald Garcia, City Attorney Richard Padilla (Zoom), Rincon Consultants Hannah Mize, Associate Planner Marina Khrustaleva and Administrative Assistant Yesenia Becerra, Julia Fritz City Clerk

PLEDGE OF ALLEGIANCE

Led by Commissioner Sanchez

DECORUM AND ORDER

Printed on the Agenda and Read by Richard Padilla

PUBLIC STATEMENTS

None

PRESENTATION

PLANNING AND PRESERVATION COMMISSION

Regular Meeting Minutes – March 9 2026

Page 2 of 3

1. City Clerk Julia Fritz welcomed and conducted the official Oath to Office to Nicole Mohr.
2. Commission welcomed and introduced the incoming Planning and Preservation Commissioner Nicole Mohr.

CONSENT CALENDAR

1. CONSIDERATION TO APPROVE PLANNING AND PRESERVATION COMMISSION MEETING MINUTES FOR:

February 9, 2026 - Regular Meeting

Motion to approve by Commissioner Sanchez and Second by Vice Chair Lua.
The motion passes.

ADMINISTRATIVE REPORTS

2. PROPOSED CLIMATE ACTION AND RESILIENCE PLAN AND GENERAL PLAN UPDATE TO THE OPEN SPACE, CONSERVATION, PARKS, AND RECREATION ELEMENT AND MOBILITY ELEMENT AND ASSOCIATED CEQA DOCUMENTATION

Community Development Director Ron Garcia provided an introduction of the Consultant from Rincon. Full presentation provided to the Commission.

Commissioners provided their questions and feedback during the presentation and after the conclusion of the presentation.

Motioned by Vice Chair Lua and second by Commissioner Sanchez

The motion passes.

PUBLIC COMMENT

None

STAFF COMMUNICATIONS

Community Development Director Ron Garcia provided an update to the Planning Commission regarding the upcoming Commission meetings will be conducted April 13, 2026. Also, reminded the commission about the Planning Commissioners Academy scheduled for this coming March 11-13, 2026. Announced and introduced the new Planning Manager Jose Mendivil.

COMMISSION COMMENTS

Commissioner Sanchez discussed opening lines of communication between Ron Garcia and director of the MBA program at CSUN to discuss opportunities for our small businesses and

PLANNING AND PRESERVATION COMMISSION

Regular Meeting Minutes – March 9 2026

Page 3 of 3

students. Commissioners voiced appreciation to the Rincon Consultants for the presentation. Chair Solorio thanked the Staff as well as the Commission.

ADJOURNMENT (6:27p.m.)

Chair Solorio adjourned the meeting to the next regular meeting.

Ron Garcia
Planning Commission Secretary

*This Page
Intentionally
Left Blank*

*This Page
Intentionally
Left Blank*



AGENDA REPORT

To: Planning Preservation Chair Solorio and Commissioners

From: Ron Garcia, Director of Community Development
By: Marina Khurstaleva, Associate Planner

Date: April 13, 2026

Subject: Conditional Use Permit 2024-002 and Site Plan Review 2024-029
San Fernando Road, San Fernando, CA 91340
(Assessor's Parcel Number 2522-034-016)

Proposal: A request for the approval of a Conditional Use Permit (CUP2024-002) to allow the operation of a new drive-through restaurant at 603 San Fernando Road in the Auto-Commercial District of the San Fernando Corridors Specific Plan (SP-5), and the continued use of the existing legal nonconforming free-standing pole sign; and a request for the approval of a Site Plan Review (SPR2024-029) for the demolition of an existing 17,500 sq. ft. commercial building and the construction of a new 4,892 sq ft. restaurant (Chick-fil-A) with a drive-through.

Applicant: Carlos Arias
105 Progress, Irvine, CA 91502

RECOMMENDATION:

- a. Conduct a Public Hearing;
- a. Pending public testimony, Approve a California Environmental Quality Act (CEQA) Class 32 Exemption.
- b. Pending public testimony, adopt Planning and Preservation Commission ("Commission") Resolution No. 2026-002 (Attachment A) approving Conditional Use Permit CUP2024-002 and Site Plan Review SPR2024-029 and the Conditions of Approval attached therein as Exhibit "A", allowing the operation of a new drive-through restaurant, the continued use of an existing legal nonconforming free-standing pole sign, the demolition of an existing 17,500 sq. ft. commercial structure, and the construction of new 4,892 sq. ft. 90-seat Chick-fil-A drive-through restaurant.

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 2 of 14

BACKGROUND:

1. On July 30, 2024, applications for a Site Plan Review and a Conditional Use Permit were submitted to the City.
2. On March 18, 2026, a Class 32 CEQA Exemption Memo was submitted to the City.
3. On March 30, 2026, the Site Plan Review and Conditional Use Permit applications were deemed complete, and a public hearing was scheduled in accordance with San Fernando Municipal Code (SFMC) Section 106-812.
4. On April 2, 2026, a Notice of Public Hearing was published in the San Fernando Valley Sun newspaper and mailed to property owners of record within a 500-foot radius of the Project Site (Attachment B).

PROJECT OVERVIEW:Existing Conditions

The Project Site is located at the eastern entrance to the city, between Truman Street to the north, Fox Street to the east, and San Fernando Road to the south. To the west, the site abuts two semi-industrial properties.

The Project Site consists of multiple lots tied together under one APN number per tax purposes: lots 1 – 12 of Block A, lots 4 – 12 of Block D, and a portion of the vacated stretch of the old Truman Street. Condition of approval # 18 requires that the property owner, prior to issuance of building permits for the proposed development, sign and record a covenant stipulating that all lots shall not be sold separately. The covenant will allow new structures to be built across property lines, and vehicular and pedestrian access and occupation associated with the use of the property to go over all the lots comprising the project site.

The Project Site is currently improved with a one-story 17,500 sq. ft. commercial building constructed in 1998 and currently used for Ganas Auto car dealership. The building will be demolished. The remainder of the property is used for a surface parking lot. The site is partially bounded by a low iron perimeter fence along Truman St and San Fernando Rd, adjacent to the existing building, and concrete bollards between the sidewalk and a parking lot. The site includes limited landscaping with twelve non-native trees (8 Mexican Fan Palms, 1 Silk Tree, and 3 Crape Myrtles), all proposed for removal and replacement with new trees.

The Project Site is located within the San Fernando Corridors Specific Plan (SP-5), within the Auto Commercial District. The purpose of the San Fernando Corridors Specific Plan is to “transform Truman Street, San Fernando Road, Maclay Avenue, and First Street into attractive, livable, and

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 3 of 14

economically vibrant districts.” The vision for the Auto Commercial District is to accommodate auto dealerships, while also allowing a wide array of retail, restaurant, and office uses. Surrounding zoning and existing land uses are outlined below:

<u>Location</u>	<u>Zoning</u>	<u>Land Use</u>
West	SP-5, Auto Commercial District (industrial uses)	Specific Plan
East	City of Los Angeles (San Fernando Gateway pocket park)	Fox Street
North	SP-5, Auto Commercial District (Cesar E. Chavez Memorial Park) and Metrolink right-of-way	Specific Plan
South	SP-5, Auto Commercial District (auto-related uses)	Specific Plan

Project Description

The Project includes construction of a one-story 4,892 sq. ft. 90-seat Chick-fil-A fast-food restaurant with a 220 sq. ft. outdoor seating area and an associated dual drive-through, including a 1,430 sq. ft. detached order point canopy and an attached 1,880 sq. ft. drive-through canopy. On the northern portion of the Project Site, the Project provides 74 parking stalls which include 58 standard stalls, 3 Americans with Disabilities Act (ADA) accessible stalls, 3 Electric Vehicle Charging Station (EVCS) stalls, and 10 Electric Vehicle (EV) capable stalls. The Project includes 6 bicycle stalls (4 short term and 2 long term).

The Chick-fil-A restaurant is located on the southern portion of the Project Site and the U-shaped drive-through is adjacent to Fox Street. Vehicle access to the Project site is provided via two new driveways: one two-way driveway along Truman Street and one two-way driveway along San Fernando Road.

The Project provides 15,537 sf of landscaping, including new trees, shrubs, and vines; there are thirty-six proposed new trees (Western Redbud, Australian Willow, Holly Oak, Chinese Elm and Red Push Pistache).

The applicant is requesting the approval to continue the use of an existing free-standing pole sign. The pole sign is located at the northeast corner of the property at the intersection of Truman St and Fox St, approximately 18 feet from the property line, currently within the existing parking

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 4 of 14

lot. According to architectural plans, it will now be located in the landscaped area, approximately 35 feet away from the drive-through lane.

Operations Plan

According to Chick-fil-A's Operations Plan, everything on the menu will be made from scratch daily – fresh-squeezed lemonade, hand-chopped salads, hand-breaded chicken, and handspun milkshakes. Chick-fil-A's chicken is cooked in a pressure cooker ("Henny Penny") which does not release outside odor. The mechanical hood system is designed to filter a much higher percentage of particulate matter than is standard for many restaurants.

The proposed hours of operation for Chick-fil-A are between 5:30am-11:30pm, Monday through Saturday. Chick-fil-A is closed on Sundays. The Chick-fil-A restaurant will employ approximately 90 team members with full & part-time positions. The number of employees will range from 20 to 25 employees during a peak shift and 10 to 15 employees during an off-peak shift.

Services will include indoor ordering with sit-down dining inside and outside, and/or take-out, drive-through service, catering, and mobile ordering (pick-up and drop-off, either inside or outside in designated parking stalls). The drive-through lanes will be placed behind the building to limit pedestrian interaction with the vehicles in the drive-through. Team members will assist with face-to-face ordering via an iPad ordering system if the drive-through queuing begins to stack beyond the drive-through lane. Team members use iPads to take orders during the peak hours of 11:30 am to 1:30 pm with additional periods when needed to increase the efficiency of the drive-through lane.

Drive-Through Queuing and Trip Generation Assessment

A Drive-Through Queuing Assessment for the proposed drive-through restaurant was prepared by Linscott, Law & Greenspan, Engineers (LLG); a Trip Generation Assessment was prepared by LLG. Both assessments were prepared in June 2025 and are contained in Attachment A, Exhibit B, Appendix D.

The Drive-Through Queuing Assessment was based in part on empirical queuing survey data collected at other existing comparable Chick fil- A restaurants, the forecast project queuing demand, and the Project Site's overall access and on-site circulation. The drive-through queue is designed to hold a minimum of 28 cars in dual-loaded drive-through service lanes totaling a queuing capacity of 573 feet in length. Two additional vehicle positions are provided when staff direct patrons to pull forward beyond the building (to the STOP line adjacent to the patio dining area), which would then increase the queuing capacity to 30 vehicles. It is determined that the proposed service-lane vehicle queue storage area adequately accommodate the maximum vehicle queues observed at similar sites. The planned excess vehicle storage proposed at the Chick-fil-A restaurant drive-through lanes, as well as the vehicle queue management strategies

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 5 of 14

ensure that on-site vehicle circulation is not impeded and that vehicle queues do not extend to San Fernando Road or Truman Street.

According to the Trip Generation Assessment, the project is forecast to generate 1,545 net new daily trips, with 39 net new vehicle trips (13 inbound, 26 outbound) during the AM peak hour and 68 net new vehicle trips (41 inbound, 27 outbound) during the PM peak hour on a typical weekday. In addition to the project trip generation forecasts, the project trip distribution and assignment were determined based on existing travel patterns and the immediate roadway access. The total inbound project volumes are anticipated to be at most 54 vehicles during the AM peak hour and 112 vehicles during the PM peak hour. Similarly, the total outbound project volumes are anticipated to be at most 62 vehicles during the AM peak hour and 88 vehicles during the PM peak hour. The net total of trips generated from the Project are not anticipated to create a significant traffic adverse effect. Therefore, the Project would not result in any significant effects relating to traffic.

ANALYSIS:

The project request is permitted with a:

- Site Plan Review (SPR) to ensure the new development conforms with the San Fernando Zoning Code (Section 106 of the SFMC) and San Fernando Corridors Specific Plan (SP-5).
- Conditional Use Permit to allow the operation of a new drive-through restaurant and continued use of an existing legal nonconforming free-standing pole sign.

Site Plan Review

According to SFMC Sec. 106-855, the purpose of the Site Plan Review procedure is to enable the director to check development proposals for conformity with the sections of this chapter in a manner that is also consistent with the general plan, any applicable specific plans, and adopted design guidelines. The proposed development complies with all applicable sections of Chapter 106 (Zoning) and with SP-5 Development Standards related to height, setbacks, driveways, vehicular and bicycle parking, landscaping, lighting, rooftop equipment, screening, and trash areas.

Architectural Design and Building Sustainability

The proposed Chick-fil-A drive-through restaurant is designed in the minimalist contemporary style. It has an irregularly shaped rectangular footprint of approximately 82'-4" ft x 67'-4" with a total area of 4,892 sq. ft. The height of the one-story building is proposed to be 23 feet.

The recessed panes and a framed niche with a logo sign above the entry door create visual interest and help avoid monotonous appearance. The entry portal, the north-west corner with a drive-through window, and a portion of the east elevation are crowned with projecting cornices ("towers") adding more prominence to the roof line. The main entry tower is further enhanced by a recessed double entry door with a deep awning above it. The logo sign with concealed Halo

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 6 of 14

illumination is used at the front and corner towers making them stand out both during the day and at night.

The elevations will have smooth stucco finish with a combination of three neutral colors: off-white on the top (“Westhighland White”), warm gray on the main body (“Hardware”), and colder gray on the cornices and the base of the building (“Urban Night”). Aluminum awnings above windows and doors, storefront systems, and drive-through canopies will be painted a “Dark Bronze” color to emphasize the building’s geometry. Wall signs (to be reviewed under a separate application) and umbrellas at the outdoor patio will be red in color.

The Project will include High Efficiency Lighting, a solar ready roof (736 sf), energy efficient appliances, Electric Vehicle Charging Stations, low-flow fixtures, water-efficiency irrigation, drought tolerant landscaping, and receptacles for waste recycling and composting.

Landscaping

The proposed site improvements include comprehensive re-landscaping that enhances both aesthetics and sustainability. The project will introduce thirty-six new trees (Western Redbud, Australian Willow, Holly Oak, Chinese Elm and Red Push Pistache) and decorative drought-tolerant plants along the perimeter of the site. All twelve existing on-site trees and three existing street trees (in poor condition) will be removed. In accordance with Public Works Department conditions, thirteen 24-inch box Crape Myrtle trees shall be planted in parkways along Truman St and San Fernando Rd, installed per City Standards, with irrigation provided to every tree.

The proposed landscaping will comply with the Model Water Efficient Landscape Ordinance (MWELO) and Low Impact Development (LID) requirements for water conservation and stormwater management. Overall, the landscaping will provide year-round ornamental appeal while minimizing water consumption, enhancing the streetscape, and creating attractive publicly accessible outdoor spaces.

Minimalist light poles will blend with exterior building elements such as awnings and drive-through canopies. Outdoor lighting design is intended to minimize light trespass and glare from the project site onto adjacent properties and to provide safety and nighttime visibility through shielded, focused, and directed illumination.

Neighborhood Compatibility

The project site is surrounded by one-story industrial structures of various sizes with vast parking lots and minimal landscaping to the west and to the south, and public open space to the east and to the north.

As shown in the 3D-models (Attachment C, pages 8-12), the proposed restaurant is adequately set back from both Truman Street and San Fernando Road. It is placed on an angle to the street intersection; the recessed north-east corner helps avoid bulky massing. This approach helps the

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 7 of 14

new building blend harmoniously with the neighborhood, minimizing its perceived mass and maintaining compatibility with the surrounding built environment.

Overall, the proposed drive-through restaurant creates an appealing attraction at the east entrance to the City. Simple design and high-quality materials create respectable appearance and provide a new bar for potential development in the Auto Commercial District. Thoughtful landscaping blends with the San Fernando Gateway pocket park and Cezar E. Chaves Memorial Park.

Conditional Use Permit

The Project Site is located in the Auto Commercial District of SP-5. A Drive-through Restaurant with a Free-Standing Building is allowed in this district, with approval of a Conditional Use Permit (CUP) and provided the drive-through does not interfere with pedestrian traffic or service along public streets.

The applicant requested to continue use of the existing free-standing pole sign. Based on available records, the sign was installed the same time when the existing building was built (1998). New pole signs are not permitted in SP-5, which makes the existing sign legal nonconforming. Per SFMC, Sec. 106-1033(2), Termination of existing nonconforming use, *all nonconforming signs shall be removed within 30 days of a change of ownership of the business. Such nonconforming signs shall be permitted to continue past the amortization period only if a Conditional Use Permit is granted by the Planning Commission.* The last business using this sign was Firestone tire shop; it ceased operations in 2023. Use of the pole sign can continue for a new business with Commission approval of a CUP.

Conditional uses are those uses which have a special impact or uniqueness such that their effect on the surrounding environment cannot be determined in advance of the use being proposed for a particular location. The review shall determine whether the proposed use should be permitted by weighing the public need for, and the benefit to be derived from, the use against the impact which it may cause.

REQUIRED FINDINGS for the Conditional Use Permit to allow the operation of a new drive-through restaurant:

According to the SFMC, Sec. 106-871(b), the Commission shall make the following findings:

- (1) The proposed use is one conditionally permitted within the subject zone and complies with all of the applicable sections of this chapter.*

The use of a drive-through restaurant in a free-standing building is allowed with a Conditional Use Permit per Table 4.1, Land Use and Permit Requirements, of the San

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 8 of 14

Fernando Corridors Specific Plan (SP-5). The project complies with the requirement that drive-up windows does not interfere with pedestrian traffic or service along public streets. The proposed development complies with all applicable sections of Chapter 106 (Zoning) and with SP-5 Development Standards related to height, setbacks, driveways, vehicular and bicycle parking, landscaping, lighting, rooftop equipment, screening, and trash areas. SFMC, Sec. 106-602, Development Standards for Drive-Through Establishments, was adopted on May 5, 2025, after the project application was submitted, and therefore does not apply to the project. However, the project complies with provisions of this section. Therefore, finding (1) can be made.

(2) The proposed use would not impair the integrity and character of the zone in which it is to be located.

The vision for the Auto Commercial District is to accommodate auto dealerships, while also allowing a wide array of retail, restaurant, and office uses. The proposed use of a drive-through restaurant complies with this vision. Therefore, finding (2) can be made.

(3) The subject site is physically suitable for the type of land use being proposed.

The project site is located in the Auto Commercial District, in an urbanized community with established utility connections, and is surrounded by commercial and industrial uses. The site is currently improved with a 17,500 sq. ft. commercial structure. At 4,892 sq. ft., the proposed structure is significantly smaller. The project site is 1.44 acres and is sufficient to accommodate a free-standing building with two drive-through canopies and an outdoor patio. Therefore, finding (3) can be made.

(4) The proposed use is compatible with the land uses presently on the subject property.

The current use present on the subject property is a car dealership (Ganas Auto). This use is permitted in the Auto Commercial District by right. The proposed drive-through restaurant with a free-standing building is conditionally permitted and complies with the vision for the district. With a significantly smaller building and extended landscaped areas, the proposed use will not be more intense than the current use. Therefore, finding (4) can be made.

(5) The proposed use would be compatible with existing and future land uses within the zone and the general area in which the proposed use is to be located.

The proposed drive-through restaurant and a free-standing building is conditionally permitted within the Auto Commercial District. It is aligned with the vision for the Auto Commercial District to accommodate auto dealerships, while also allowing a wide array of retail, restaurant, and office uses. Currently, there is only one existing restaurant in the

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 9 of 14

Auto Commercial District, Jame's Restaurant at 739 Truman St established in 1953. There are dozens of existing full-service sit-down restaurants in the adjacent Downtown District, and three legal nonconforming drive-through establishments: McDonald's, El Pollo Loco, and Starbucks Coffee. The use of the drive-through restaurant will be complimentary and consistent with the surrounding uses. Therefore, finding (5) can be made.

- (6) There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.*

According to the checklist provided by the Public Works Department (Attachment A, Exhibit A), the project site has existing sewer connection and water service, as well as gas and electricity. The utilities upgrade may be required during the building plan check process based on requested water calculations and fire flow test. The proposed development will not interfere with surrounding uses. Therefore, finding (6) can be made.

- (7) There would be adequate provisions for public access to serve the subject proposal.*

Vehicle access to the Project site would be provided via two new driveways: one two-way driveway along Truman Street and one two-way driveway along San Fernando Road. A drive-through queuing analysis was prepared and concluded that the drive-through will generate a 28-vehicle queue. Pedestrians can access the restaurant via existing sidewalks along Truman St, Fox St, and San Fernando Rd. Therefore, finding (7) can be made.

- (8) The proposed use would be appropriate in light of an established need for the use at the proposed location.*

The proposed drive-through restaurant is consistent with the intent of the Specific Plan for the Auto Commercial District to accommodate auto dealerships, while also allowing a wide array of retail, restaurant, and office uses. The proposed establishment will provide a service of convenience that will contribute to the general well-being of the neighborhood and the community. Chick-fil-A will attract City residents and generate traffic from adjacent communities; the closest Chick-fil-A's are located 8 miles away in Granada Hills, 10 miles away in North Hollywood, and 12 miles away in Sherman Oaks. Therefore, finding (8) can be made.

- (9) The proposed use is consistent with the objectives, policies, general land uses and programs of the city's general plan.*

The project site at 603 San Fernando Road is located within Auto Commercial District and maintains a Specific Plan land use designation in the General Plan Land Use Element. The proposal is consistent with the goals of the General Plan to retain the small-town character of San Fernando, promote economic viability of commercial areas, and maintain

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 10 of 14

the identity that is distinct from surrounding communities. The proposed one-story drive-through restaurant will blend in with the small-town scale of San Fernando. It will bring revenue and generate income tax by attracting local residents and visitors from adjacent neighborhoods. By complying with SP-5 design standards and design guidelines, including height, setbacks, colors, landscaping, the proposed development will maintain the City's identity distinct from surrounding communities. Therefore, finding (9) can be made.

(10) The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.

The proposed 4,892 sq. ft. drive-through restaurant will be located on a 1.44-acre lot which provides ample room for the operations of the restaurant, drive-through lanes, and parking. The site design will provide landscape buffers to adjacent streets for additional safety. According to the CEQA Exemption Report (Attachment A, Exhibit B), approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. As conditioned, the drive-through restaurant will not be detrimental to the public interest, health, safety, convenience, or welfare of people residing or working in the vicinity, or injurious to the adjacent properties or improvements. Therefore, finding (10) can be made.

REQUIRED FINDINGS for the Conditional Use Permit to continue use of the existing legal nonconforming free-standing pole sign:

According to the SFMC, Sec. 106-871(b), the Commission shall make the following findings:

(1) The proposed use is one conditionally permitted within the subject zone and complies with all of the applicable sections of this chapter.

New pole signs are not permitted in the subject zone; however, continued use of the existing free-standing pole sign is allowed with a Conditional Use Permit. Therefore, finding (1) can be made.

(2) The proposed use would not impair the integrity and character of the zone in which it is to be located.

The pole sign existed at this location for over 25 years. It was originally created for Murphy and Shelby Dodge. The current business, Ganas Auto, was established in 2014, prior to the approval of SP-5 in 2017. There are other existing pole signs in the Auto Commercial District: Just Tires (707 Truman St), NAPA Auto Parts (721 Truman St), Jame's Restaurant (739 Truman St), Rydell Auto Dealership (712-740 Truman St and 700 San Fernando Rd), Enterprise Car Rental (638 San Fernando Rd). Therefore, continued use of the existing

pole sign will not impair the integrity and character of the zone, and finding (2) can be made.

(3) The subject site is physically suitable for the type of land use being proposed.

The pole sign is located at the northeast corner of the property at the intersection of Truman St and Fox St, approximately 18 feet from the property line, currently within the existing parking lot. According to architectural plans, it will now be located in the landscaped area, approximately 35 feet away from the drive-through lane. Therefore, the project site is physically suitable to accommodate the sign, and finding (3) can be made.

(4) The proposed use is compatible with the land uses presently on the subject property.

The pole sign is currently present on the property, and it existed there for over 25 years. It is compatible with the use of an existing car dealership and will be accessory to the use of a drive-through restaurant. Therefore, finding (4) can be made.

(5) The proposed use would be compatible with existing and future land uses within the zone and the general area in which the proposed use is to be located.

The intent of SP-5 was to gradually remove free-standing pole signs from the Specific Plan area. The existing pole sign is compatible with other existing pole signs within the Auto Commercial District. In the future, it may not be compatible with future developments as other pole signs are gradually being removed. However, continued use of legal nonconforming signs is permitted with a CUP granted by the Commission. Therefore, finding (5) can be made.

(6) There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

The existing free-standing illuminated pole sign does not require water, sanitation, and public utilities and services, except for the electrical connection that has been already established. Therefore, finding (6) can be made.

(7) There would be adequate provisions for public access to serve the subject proposal.

The existing pole sign does not require immediate public access. It will be visible to pedestrians and drivers on Truman St and Fox St. Therefore, finding (7) can be made.

(8) The proposed use would be appropriate in light of an established need for the use at the proposed location.

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 12 of 14

The existing free-standing illuminated pole sign is needed for the operations of the drive-through restaurant to provide better visibility during day and nighttime. All four elevations of the proposed building will have wall signs; however, the pole sign is more noticeable. Therefore, finding (8) can be made.

(9) The proposed use is consistent with the objectives, policies, general land uses and programs of the city's general plan.

The San Fernando General Plan was adopted in 1987 and undergone several revisions. Originally, the area between San Fernando Road and Truman St had a Commercial land use designation. Free-standing pole signs were consistent with the objectives of the Commercial land use. Free-standing pole signs are discouraged by the San Fernando Corridors Specific Plan (SP-5) adopted in 2017. However, continued use of legal nonconforming signs is permitted with a CUP granted by the Commission. Therefore, finding (9) can be made.

(10) The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.

The pole sign existed at this location for over 25 years and has not caused any harm to the public interest, health, safety, convenience, or welfare. It is in sound condition and is not considered a nuisance or hazard. Therefore, finding (10) can be made.

ENVIRONMENTAL REVIEW:

This project has been reviewed by the City for compliance with the California Environmental Quality Act (CEQA). A Notice of Exemption was prepared by one of the City's approved on-call CEQA consultants, Kimberley-Horn and Associates, Inc. Based on the CEQA analysis, the proposed Project meets all conditions of Class 32 categorical exemption, In-Fill Development Projects (Section 15332): it is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulation; the proposed development occurs within the city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as a habitat for endangered, rare, or threatened species; approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services.

The Project does not have the potential to cause any of the exceptions identified in CEQA Guidelines §15300.2: the project is not located in environmentally sensitive areas; there is no potential for the significant cumulative impact of successive projects; there are no unusual circumstances; the Project does not result in damage to scenic resources; the site is not on any

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 13 of 14

list of hazardous waste sites; and the property does not qualify as a historic resource.

Therefore, the proposed Project is exempt from further CEQA review pursuant to CEQA Guidelines, Section 15332, Class 32 – In-Fill Development Projects. Based on this analysis, no significant environmental effects would result from this project, and the use of a categorical exemption is appropriate.

PUBLIC NOTIFICATION:

On April 2, 2026, a public hearing notice was published in the print and online versions of the legal advertisement section of the *San Fernando Sun Newspaper* (Attachment B). In addition, on April 2, 2026, a public hearing notice was posted at the Project Site and at the two City Hall bulletin boards. Notices of the public hearing for the Site Plan Review request were also mailed to all property owners of record within a 500-foot radius of the Project Site.

PUBLIC COMMENTS:

As of the date of preparation of this staff report, no comments were received from the public regarding this Conditional Use Permit and Site Plan Review. Any comments received after the distribution of this report shall be read into the record at the public hearing.

BUDGET IMPACT:

The Project involves a private property and does not request or require public funds and will enhance revenue tax base for the City of San Fernando.

CONCLUSION:

Staff recommends that the Commission:

- a. Conduct a Public Hearing;
- b. Pending public testimony, approve a Class 32 CEQA Exemption.
- c. Pending public testimony, adopt Planning and Preservation Commission (“Commission”) Resolution No. 2026-002 (Attachment A) approving Conditional Use Permit CUP2024-002 and Site Plan Review SPR2024-029 and the Conditions of Approval attached therein as Exhibit “A”, allowing the operation of a new drive-through restaurant, continued use of an existing legal nonconforming free-standing pole sign, demolition of an existing 17,500

Approval of CUP2024-002 and SPR2024-029:

Chick-fil-A at 603 San Fernando Rd

Page 14 of 14

sq. ft. commercial structure, and construction of new 4,892 sq. ft. 90-seat Chick-fil-A drive-through restaurant.

ATTACHMENTS:

A. Planning and Preservation Commission Resolution 2025-002, including

- a. Exhibit "A": Conditions of Approval
- b. Exhibit "B": Class 32 Notice of Exemption Memo

Appendixes:

https://www.sanfernando.gov/files/assets/public/v/6/government/documents/community-development/attachment-a-exhibit-b-603-san-fernando-rd_spr2024-029-cup2024-002_ppc-4-17-26-ar_ceqa-appendices.pdf

B. Notice of Public Hearing Published in the *San Fernando Sun* Newspaper & Vicinity Map

C. Plans

RESOLUTION NO. 2026-002

A RESOLUTION OF THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO, CALIFORNIA, APPROVING CONDITIONAL USE PERMIT CUP2024-002; SITE PLAN REVIEW SPR2024-029; THE CONDITIONS OF APPROVAL ATTACHED THEREIN AS EXHIBIT "A"; AND A CLASS 32 CEQA EXEMPTION ATTACHED THEREIN AS EXHIBIT "B"; ALLOWING THE OPERATION OF A NEW DRIVE-THROUGH RESTAURANT, INCLUDING THE DEMOLITION OF AN EXISTING 17,500 SQ. FT. COMMERCIAL STRUCTURE AND THE CONSTRUCTION OF A NEW 4,892 SQ. FT. 90-SEAT CHICK-FIL-A DRIVE-THROUGH RESTAURANT, AND CONTINUED USE OF THE EXISTING LEGAL NONCONFORMING FREE-STANDING POLE SIGN AT 603 SAN FERNANDO ROAD IN THE AUTO-COMMERCIAL DISTRICT OF THE SAN FERNANDO CORRIDORS SPECIFIC PLAN (SP-5) (APN: 2522-034-016)

WHEREAS, on July 30, 2024, applications for a Site Plan Review and a Conditional Use Permit to allow the operation of a new drive-through restaurant, the continued use of an existing legal nonconforming free-standing pole sign, the demolition of an existing 17,500 sq. ft. commercial structure, and the construction of new 4,892 sq. ft. 90-seat Chick-fil-A drive-through restaurant at 603 San Fernando Rd were submitted to the City; and

WHEREAS, on March 18, 2026, a Class 32 CEQA Exemption Memo was submitted to the City; and

WHEREAS, the project site is within the within the Auto Commercial District of the San Fernando Corridors Specific Plan (SP-5), and the proposed project has been reviewed for compliance with the applicable development standards; and

WHEREAS, on March 30, 2026, the Site Plan Review and Conditional Use Permit applications were deemed complete, and a public hearing was scheduled in accordance with San Fernando Municipal Code (SFMC) Section 106-812; and

WHEREAS, the proposed project is considered a "project" as defined by the California Environmental Quality Act (CEQA), Public Resources Code Section 21000 et seq.; and

WHEREAS, the project has been reviewed for compliance with the California Environmental Quality Act (CEQA) and it qualifies for an exemption from further environmental review pursuant to CEQA Guidelines Section 15332, Class 32 Exemption (Exhibit "B"); and

WHEREAS, in accordance with State law, on April 2, 2026, the City of San Fernando Community Development Department published a legal notice concerning the proposed project in the print and online versions of the legal advertisement section of the *San Fernando Sun*

Newspaper, a local newspaper of general circulation, regarding the April 13, 2026 City of San Fernando Planning and Preservation Commission meeting , and mailed the notice to property owners located within a 500-foot radius of the project site; and

WHEREAS, on April 13, 2026, the Planning and Preservation Commission conducted a public hearing, at which time public testimony was taken concerning: the proposed Conditional Use Permit CUP2024-002; Site Plan Review SPR2024-029; the Conditions of Approval attached therein as Exhibit “A”; and a Class 32 CEQA Exemption attached therein as Exhibit “B” to allow the operation of a new drive-through restaurant, the continued use of an existing legal nonconforming free-standing pole sign, the demolition of an existing 17,500 sq. ft. commercial structure, and the construction of new 4,892 sq. ft. 90-seat Chick-fil-A drive-through restaurant at 603 San Fernando Road.

NOW, THEREFORE, THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO, CALIFORNIA, DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1: ENVIRONMENTAL REVIEW FINDINGS

This project has been reviewed by the City for compliance with the California Environmental Quality Act (CEQA). A Notice of Exemption was prepared by one of the City’s approved on-call CEQA consultants, Kimberley-Horn and Associates, Inc. Based on the CEQA analysis, the proposed Project meets all conditions of Class 32 categorical exemption, In-Fill Development Projects (Section 15332): it is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulation; the proposed development occurs within the city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as a habitat for endangered, rare, or threatened species; approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services.

The Project does not have the potential to cause any of the exceptions identified in CEQA Guidelines §15300.2: the project is not located in environmentally sensitive areas; there is no potential for the significant cumulative impact of successive projects; there are no unusual circumstances; the Project does not result in damage to scenic resources; the site is not on any list of hazardous waste sites; and the property does not qualify as a historic resource.

Therefore, the proposed Project is exempt from further CEQA review pursuant to CEQA Guidelines, Section 15332, Class 32 – In-Fill Development Projects. Based on this analysis, no significant environmental effects would result from this project, and the use of a categorical exemption is appropriate.

SECTION 2. FINDINGS FOR SITE PLAN REVIEW

Pursuant to San Fernando Municipal Code Section 106-855, the purpose of the Site Plan Review procedure is to enable the director to check development proposals for conformity with the sections of this chapter in a manner that is also consistent with the general plan, any applicable specific plans, and adopted design guidelines. The proposed development complies with all applicable sections of Chapter 106 (Zoning) and with SP-5 Development Standards related to height, setbacks, driveways, vehicular and bicycle parking, landscaping, lighting, rooftop equipment, screening, and trash areas. The proposal involves a contemporary style one-story rectangular 4,892 sq. ft. restaurant structure with two drive-through canopies and an outdoor patio at 603 San Fernando Rd.

The proposed landscaping will comply with the Model Water Efficient Landscape Ordinance (MWELO) and Low Impact Development (LID) requirements for water conservation and stormwater management. The drive-through restaurant blends harmoniously with the neighborhood, minimizing its perceived mass and maintaining compatibility with the surrounding built environment. It creates an appealing attraction at the east entrance to the City.

SECTION 3. FINDINGS FOR CONDITIONAL USE PERMIT

REQUIRED FINDINGS for the Conditional Use Permit to allow the operation of a new drive-through restaurant:

Pursuant to San Fernando Municipal Code Section 106-871(b), the following findings shall be made for approval of a Conditional Use Permit:

Finding 1: The proposed use is one conditionally permitted within the subject zone and complies with all of the applicable sections of this chapter.

Evidence: The use of a drive-through restaurant in a free-standing building is allowed with a Conditional Use Permit per Table 4.1, Land Use and Permit Requirements, of the San Fernando Corridors Specific Plan (SP-5). The project complies with the requirement that drive-up windows does not interfere with pedestrian traffic or service along public streets. The proposed development complies with all applicable sections of Chapter 106 (Zoning) and with SP-5 Development Standards related to height, setbacks, driveways, vehicular and bicycle parking, landscaping, lighting, rooftop equipment, screening, and trash areas. SFMC, Sec. 106-602, Development Standards for Drive-Through Establishments, was adopted on May 5, 2025, after the project application was submitted, and therefore does not apply to the project. However, the project complies with provisions of this section. Therefore, finding (1) can be made.

Finding 2: The proposed use would not impair the integrity and character of the zone in which it is to be located.

Evidence: The vision for the Auto Commercial District is to accommodate auto dealerships, while also allowing a wide array of retail, restaurant, and office uses. The proposed use of a drive-through restaurant complies with this vision. Therefore, finding (2) can be made.

Finding 3: The subject site is physically suitable for the type of land use being proposed.

Evidence: The project site is located in the Auto Commercial District, in an urbanized community with established utility connections, and is surrounded by commercial and industrial uses. The site is currently improved with a 17,500 sq. ft. commercial structure. At 4,892 sq. ft., the proposed structure is significantly smaller. The project site is 1.44 acres and is sufficient to accommodate a free-standing building with two drive-through canopies and an outdoor patio. Therefore, finding (3) can be made.

Finding 4: The proposed use is compatible with the land uses presently on the subject property.

Evidence: The current use present on the subject property is a car dealership (Ganas Auto). This use is permitted in the Auto Commercial District by right. The proposed drive-through restaurant with a free-standing building is conditionally permitted and complies with the vision for the district. With a significantly smaller building and extended landscaped areas, the proposed use will not be more intense than the current use. Therefore, finding (4) can be made.

Finding 5: The proposed use would be compatible with existing and future land uses within the zone and the general area in which the proposed use is to be located.

Evidence: The proposed drive-through restaurant and a free-standing building is conditionally permitted within the Auto Commercial District. It is aligned with the vision for the Auto Commercial District to accommodate auto dealerships, while also allowing a wide array of retail, restaurant, and office uses. Currently, there is only one existing restaurant in the Auto Commercial District, Jame's Restaurant at 739 Truman St established in 1953. There are dozens of existing full-service sit-down restaurants in the adjacent Downtown District, and three legal nonconforming drive-through establishments: McDonald's, El Pollo Loco, and Starbucks Coffee. The use of the drive-through restaurant will be complimentary and consistent with the surrounding uses. Therefore, finding (5) can be made.

Finding 6: There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

Evidence: According to the checklist provided by the Public Works Department (Attachment A, Exhibit A), the project site has existing sewer connection and water service, as well as gas and electricity. The utilities upgrade may be required during the building plan check process based on requested water calculations and fire flow test. The proposed development will not interfere with surrounding uses. Therefore, finding (6) can be made.

Finding 7: There would be adequate provisions for public access to serve the subject proposal.

Evidence: Vehicle access to the Project site would be provided via two new driveways: one two-way driveway along Truman Street and one two-way driveway along San Fernando Road. A drive-through queuing analysis was prepared and concluded that the drive-through will generate a 28-vehicle queue. Pedestrians can access the restaurant via existing sidewalks along Truman St, Fox St, and San Fernando Rd. Therefore, finding (7) can be made.

Finding 8: The proposed use would be appropriate in light of an established need for the use at the proposed location.

Evidence: The proposed drive-through restaurant is consistent with the intent of the Specific Plan for the Auto Commercial District to accommodate auto dealerships, while also allowing a wide array of retail, restaurant, and office uses. The proposed establishment will provide a service of convenience that will contribute to the general well-being of the neighborhood and the community. Chick-fil-A will attract City residents and generate traffic from adjacent communities; the closest Chick-fil-A's are located 8 miles away in Granada Hills, 10 miles away in North Hollywood, and 12 miles away in Sherman Oaks. Therefore, finding (8) can be made.

Finding 9: The proposed use is consistent with the objectives, policies, general land uses and programs of the city's general plan.

Evidence: The project site at 603 San Fernando Road is located within Auto Commercial District and maintains a Specific Plan land use designation in the General Plan Land Use Element. The proposal is consistent with the goals of the General Plan to retain the small-town character of San Fernando, promote economic viability of commercial areas, and maintain the identity that is distinct from surrounding communities. The proposed one-story drive-through restaurant will blend in with the small-town scale of San Fernando. It will bring revenue and generate income tax by attracting local residents and visitors from adjacent neighborhoods. By complying with SP-5 design standards and design guidelines, including height, setbacks, colors, landscaping, the proposed development will maintain the City's identity distinct from surrounding communities. Therefore, finding (9) can be made.

Finding 10: The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.

Evidence: The proposed 4,892 sq. ft. drive-through restaurant will be located on a 1.44-acre lot which provides ample room for the operations of the restaurant, drive-through lanes, and parking. The site design will provide landscape buffers to adjacent streets for additional safety. According to the CEQA Exemption Report (Attachment A, Exhibit B), approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality. As conditioned, the drive-through restaurant will not be detrimental to the public interest, health, safety, convenience, or welfare of people residing or working in the vicinity, or injurious to the

adjacent properties or improvements. Therefore, finding (10) can be made.

REQUIRED FINDINGS for the Conditional Use Permit to continue use of the existing legal nonconforming free-standing pole sign:

Finding 1: The proposed use is one conditionally permitted within the subject zone and complies with all of the applicable sections of this chapter.

Evidence: New pole signs are not permitted in the subject zone; however, continued use of the existing free-standing pole sign is allowed with a Conditional Use Permit. Therefore, finding (1) can be made.

Finding 2: The proposed use would not impair the integrity and character of the zone in which it is to be located.

Evidence: The pole sign existed at this location for over 25 years. It was originally created for Murphy and Shelby Dodge. The current business, Ganas Auto, was established in 2014, prior to the approval of SP-5 in 2017. There are other existing pole signs in the Auto Commercial District: Just Tires (707 Truman St), NAPA Auto Parts (721 Truman St), Jame's Restaurant (739 Truman St), Rydell Auto Dealership (712-740 Truman St and 700 San Fernando Rd), Enterprise Car Rental (638 San Fernando Rd). Therefore, continued use of the existing pole sign will not impair the integrity and character of the zone, and finding (2) can be made.

Finding 3: The subject site is physically suitable for the type of land use being proposed.

Evidence: The pole sign is located at the northeast corner of the property at the intersection of Truman St and Fox St, approximately 18 feet from the property line, currently within the existing parking lot. According to architectural plans, it will now be located in the landscaped area, approximately 35 feet away from the drive-through lane. Therefore, the project site is physically suitable to accommodate the sign, and finding (3) can be made.

Finding 4: The proposed use is compatible with the land uses presently on the subject property.

Evidence: The pole sign is currently present on the property, and it existed there for over 25 years. It is compatible with the use of an existing car dealership and will be accessory to the use of a drive-through restaurant. Therefore, finding (4) can be made.

Finding 5: The proposed use would be compatible with existing and future land uses within the zone and the general area in which the proposed use is to be located.

Evidence: The intent of SP-5 was to gradually remove free-standing pole signs from the Specific Plan area. The existing pole sign is compatible with other existing pole signs within the Auto Commercial District. In the future, it may not be compatible with future developments as other pole signs are gradually being removed. However, continued use of legal nonconforming signs is

permitted with a CUP granted by the Commission. Therefore, finding (5) can be made.

Finding 6: There would be adequate provisions for water, sanitation, and public utilities and services to ensure that the proposed use would not be detrimental to public health and safety.

Evidence: The existing free-standing illuminated pole sign does not require water, sanitation, and public utilities and services, except for the electrical connection that has been already established. Therefore, finding (6) can be made.

Finding 7: There would be adequate provisions for public access to serve the subject proposal.

Evidence: The existing pole sign does not require immediate public access. It will be visible to pedestrians and drivers on Truman St and Fox St. Therefore, finding (7) can be made.

Finding 8: The proposed use would be appropriate in light of an established need for the use at the proposed location.

Evidence: The existing free-standing illuminated pole sign is needed for the operations of the drive-through restaurant to provide better visibility during day and nighttime. All four elevations of the proposed building will have wall signs; however, the pole sign is more noticeable. Therefore, finding (8) can be made.

Finding 9: The proposed use is consistent with the objectives, policies, general land uses and programs of the city's general plan.

Evidence: The San Fernando General Plan was adopted in 1987 and undergone several revisions. Originally, the area between San Fernando Road and Truman St had a Commercial land use designation. Free-standing pole signs were consistent with the objectives of the Commercial land use. Free-standing pole signs are discouraged by the San Fernando Corridors Specific Plan (SP-5) adopted in 2017. However, continued use of legal nonconforming signs is permitted with a CUP granted by the Commission. Therefore, finding (9) can be made.

Finding 10: The proposed use would not be detrimental to the public interest, health, safety, convenience or welfare.

Evidence: The pole sign existed at this location for over 25 years and has not caused any harm to the public interest, health, safety, convenience, or welfare. It is in sound condition and is not considered a nuisance or hazard. Therefore, finding (10) can be made.

SECTION 4. RECORD OF PROCEEDING

The documents and other materials that constitute the record of the proceedings upon which the Planning and Preservation Commission's decision is based, which include, but are not limited to, the environmental documents, staff reports, as well as all materials that support the staff

reports for the proposed project and are located in the Community Development Department of the City of San Fernando at 117 Macneil Street, San Fernando, CA 91340. The custodian of these documents is the City Clerk of the City of San Fernando.

SECTION 5. DETERMINATION

The Project is consistent with the objectives, policies, and general land uses and programs provided in the City’s General Plan, the applicable development standards and design guidelines for Single-Family Residential (R-1) Zone. All findings required for approval of a Conditional Use Permit can be made. Therefore, the Planning and Preservation Commission approves Conditional Use Permit No. 2023-004 and Site Plan Review 2023-040, subject to conditions of approval attached hereto as Exhibit “A”.

SECTION 6. CERTIFICATION OF THE RESOLUTION

The Secretary of the Planning and Preservation Commission of the City of San Fernando, California, shall certify the adoption of this resolution.

PASSED, APPROVED, AND ADOPTED this 13th day of April 2026 by the following votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

FRANCISCO SOLORIO, CHAIRPERSON

ATTEST:

JOSE MENDIVIL, SECRETARY TO THE PLANNING
AND PRESERVATION COMMISSION

ATTACHMENT A
Exhibit A

CONDITIONS OF APPROVAL

PROJECT NO.: Site Plan Review No. 2024-029
Conditional Use Permit No. 2024-002

PROJECT ADDRESS: 603 San Fernando Road, San Fernando, CA 91340
(Assessor’s Parcel Number 2522-034-016)

PROJECT DESCRIPTION: Site Plan Review and Conditional Use Permit application for the demolition of an existing 17,500 sq. ft. commercial structure and the construction of a new 4,892 sq. ft. Chick-fil-A drive-thru restaurant with a 1,430 sq. ft. detached order point canopy, an attached 1,880 sq. ft. drive-thru canopy, a 220 sq. ft. outdoor patio, and associated improvements, including 15,537 sq. ft. of landscaping and 74 parking spaces

The following conditions shall be made a part of the approval of the project, and shall be complied with in their entirety, as determined by the Community Development Department:

NO.	CONDITION OF APPROVAL	AGENCY	COMPLIANCE VERIFICATION
GENERAL			
1.	This Site Plan Review and Conditional Use Permit are granted for the land use and development of the Property as described in this application and any attachments thereto, as reviewed by the Planning and Preservation Commission on April 13, 2026, and shall be maintained in substantial conformance with the plans and materials, except as herein modified to comply with these Conditions of Approval.	Planning	
2.	<u>Expiration.</u> The Site Plan Review and Conditional Use Permit approval to which these Conditions of Approval apply shall expire one year from the date of final approval of said Site Plan Review and Conditional Use Permit if the approval has not been exercised by submitting construction plans to the Building Division for plan check review. An applicant	Planning	

	may request an extension of said expiration date by filing a written request with the Planning Division prior to the expiration of the approval. The Community Development Director may grant extensions of 6 months but no more than 2 or a total of 12 months of extended time may be given.		
3.	<u>Alterations.</u> Any expansion to this use or exterior alterations will require the submittal of a separate application(s) and shall be reviewed and approved under separate permit(s).	Planning	
4.	<u>Acceptance.</u> Within 30 days of this approval, the applicant and property owner shall certify his/her acceptance of the conditions of approval or modifications thereto by signing the acceptance form and shall be bound by all of the conditions.	Planning	
5.	<u>Recordation.</u> The applicant shall provide the Community Development Department with proof that the conditions of approval have been recorded with the Los Angeles Registrar Recorder/County Clerk's Office.	Planning	
6.	<u>Indemnification.</u> The property owner and the project applicant, shall indemnify, protect, hold harmless and defend the City and any agency or instrumentality thereof, and/or any of its officers, employees and agents from any and all claims, actions, or proceedings against the City to attack, set aside, void, annul, seek monetary damages resulting from an approval of the City, or any agency or instrumentality thereof, advisory agency, appeal board or legislative body including actions approved by the voter of the City, concerning the entitlement application. City shall promptly notify both the property owner and developer of any claim, action, or proceeding to which this condition is applicable and shall further cooperate fully in the defense of the action. The City reserves its right to take any and all action the City deems to be in the best interest of the City and its citizens in regard to such defense. The property owner and developer shall defend,	All Depts.	

	indemnify and hold harmless the City for all costs and fees incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending, any document (such as an environmental impact report or related environmental assessment) if made necessary through the initiation of the project.		
7.	<u>Code Compliance.</u> The project shall be in compliance with all of the provisions of the San Fernando Municipal Code. The applicant shall also comply with all other requirements of any applicable federal, state, or local law, ordinance, or regulation, including 2025 California Building, Electrical, Plumbing, Mechanical, Energy & Green Building Standards Codes.	All Depts.	
8.	<u>Construction Hours.</u> Construction activity on Mondays through Fridays shall comply with the current San Fernando City Code standards for construction of 7:00 a.m. to 6:00 p.m. In addition, any construction on Saturday shall be from 8:00 a.m. to 6:00 p.m. Unless otherwise allowed in the City’s Noise Ordinance, no construction shall be allowed on Sundays and Federal Holidays.	Building	
9.	<u>Parking.</u> The development shall provide 74 parking spaces, including three ADA parking spaces, 3 EVSC parking spaces, and 10 EV capable parking spaces.	Planning	
10.	<u>Waste.</u> All project-related solid and recyclable waste materials removal shall be in accordance with SFMC Chapter 70 – “Solid Waste and Recyclables Collection Services”. The property shall provide adequate trash and recycling capacity and shall comply with Assembly bills 939, 1826 and 341 waste diversion goals. Please contact Jose Virgen at jvirgen@republicservices.com to ensure collection services are provided.	Public Works	
11.	<u>Property Maintenance.</u> The subject site and its immediate surrounding area shall be maintained in a clean, neat and orderly manner at all times and shall	Code Enforcement	

	comply with the property maintenance standards as set forth in the San Fernando City Code.		
12.	<u>Landscape.</u> All proposed on-site and off-site plantings shall be kept in a healthy and growing condition, consistent with the design of a landscaping and irrigation plan approved by the Community Development Director. Fertilization, cultivation, tree pruning shall be a part of regular maintenance. Good horticultural practices shall be followed in all instances.	Planning, Code Enforcement	
13.	<u>Loitering.</u> The property owner shall prohibit on site loitering.	Police	
14.	<u>Signage application</u> for exterior signs shall be submitted separately, on a later date.	Planning	
15.	<u>Graffiti.</u> The property owner shall remove any graffiti from the project site within 72 hours of its occurrence, or as requested by the City.	Police / Public Works	
16.	<u>Site Inspections.</u> The Community Development Department and Police Department may periodically inspect the site to assure compliance with these conditions of approval. The applicant and all successors hereby grant access and consent to unannounced inspections by agents of the City of San Fernando to conduct inspections to exterior and public-facing areas of the property.	Planning, Building, Community Preservation, Police	
17.	A copy of these conditions of approval shall be printed on the building construction plans.	Building	
18.	Restaurant employees shall ensure proper circulation by managing the drive-through car lines so that vehicle queuing does not block parking spaces.	Planning	
19.	In the event that availability of traffic/circulation is negatively impacted, the Planning Commission shall review the conditional use permit for the use and	Planning	

	may, at its discretion, modify or impose new conditions.		
Prior to Issuance of a Building Permit <i>(NOTE: Additional comments may be added during Plan Check)</i>			
20.	A covenant and agreement, on a form provided by the Planning Division and in form and substance acceptable to the City Attorney, tying all lots comprising the project site and stipulating that all lots shall not be sold separately, structures may be built across property lines, and that all vehicular and pedestrian access and occupation associated with the use of the property shall be allowed over all the lots comprising the project site shall be signed by the Property Owner and recorded in the County Recorder's Office. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Planning Division.	Planning	
21.	<u>Construction Plans.</u> The submitted plans must be stamped and signed by an architect or engineer licensed in the State of California (Business & Professions code Sections 5537, 5538 & 6737.1).	Building	
22.	<u>Materials.</u> All approved materials and colors shall be clearly indicated on the plans.	Planning, Building	
23.	A separate <u>Demolition permit</u> will be required for the existing building. NOTE: AQMD clearance report must be obtained PRIOR to issuance of any demolition permits. Required BMP's must be in place and approved before demolition of any kind can begin onsite.	Building	
24.	<u>Soil Contamination.</u> The applicant shall verify to the City's satisfaction that there is no existing contamination of soil on the site. Geotechnical and/or soils reports are required in order to obtain a grading permit and shall be submitted to the Building Official for review and approval prior to issuance of a grading permit.	Building	

25.	<u>Grading & Paving Requirements.</u> All grading shall conform to the 2025 California Building Code and all other relevant laws & ordinances governing grading as adopted by the City of San Fernando. Submit a Grading / Drainage Plan; incorporate BMP's in Drainage Plan to address erosion control, etc.	Building	
26.	A Landscape and Irrigation Plan shall be submitted in compliance with the latest State Model Water Efficient Landscape Ordinance (MWELO) and the City's Landscape design standards. The Landscape and Irrigation Plan shall include both on-site and off-site landscaping and irrigation with details of, but not limited to, plant species, size, count, ground cover, and hardscape material. The plan shall also show the required 13 parkway trees, including tree wells, tree grates, ground cover, and automatic irrigation system for each tree (see Public Works Condition #20).	Planning	
27.	All proposed work shall comply with the 2025 California Energy Code & California Green Building Standards Code and all other relevant laws, ordinances and resolutions governing Energy conservation as adopted by the City of San Fernando.	Building	
28.	Proposed project shall be sprinklered and comply with all other relevant laws regarding <u>commercial fire sprinklers.</u>	Building	
29.	Provide an <u>Outdoor Lighting Plan</u> including the manufacturer's specifications of the outdoor light fixtures, location, height, and method of shielding on the property, with electrical & energy calculations. All exterior lighting must be shown on Exterior Elevation Plans. All proposed work shall comply with the 2025 California Energy Code and all other relevant laws & ordinances.	Building	
30.	Provide a <u>DWV plan</u> indicating all connections to (E) systems.	Building	
31.	The proposed project must comply with all <u>EV</u>	Building	

	<u>charging requirements</u> as designated in the California Green Building Standards Section 5.106.5.3.		
32.	Indicate location/s of any <u>Electrical, Plumbing, Mechanical or Fire equipment</u> within area of proposed drive-through. Include all dimensions.	Building	
33.	Provide details and specifications for the proposed grease interceptor in the parking lot. Provide a single line diagram (Plumbing plan) for this installation.	Building	
34.	<u>Building Management Plan.</u> BMP's shall be in place prior to the start of any earth movement onsite. These include but are not limited to the following: <ol style="list-style-type: none"> 1. Onsite water is required during the grading process for dust suppression. 2. Perimeter temporary fencing with wind screen along property lines. 3. Double sand bags or waddles at bottom of fence at interior. 4. Storm drain inlet protection. 5. Construction track out controls. 	Building	
35.	<u>Fire Department.</u> Apply to the City of Los Angeles Fire Department, Fire Life Safety Unit and Hydrants and Access Unit, and provide clearance from them. Apply at FIMS website (lafd.org) and provide their conditions to the City of San Fernando Planning Division. Register online using the property address of 222 N. Fremont Ave., Los Angeles, CA 90012. After that, you can enter the correct address in the project description; it will be updated and flagged internally. Upload San Fernando application and set of plans as an attachment.	Building	
36.	<u>Los Angeles County Health Department</u> approval must be obtained prior to issuance of any permits. Incorporate any Health Department requirements into submitted plans.		
37.	Prior to the issuance of building permits, signs shall be posted throughout the site to prevent unauthorized activities from occurring on the	Building	

	<p>property. Reference the following abbreviated code sections on the signage:</p> <p>a. California Vehicle Code Section 22652(a) and (b). [C.V.C § 22652(a) and (b)];</p> <p>b. California Vehicle Code Section 22658a [C.V.C § 22658a];</p> <p>c. California Vehicle Code Section 22511.8(a), 22511.8(d) and 22511.8(f). [C.V.C § 22511.8(a), (d) and (f)];</p> <p>d. San Fernando Municipal Code Section 58-28 [SFMC § 58-28]; and</p> <p>e. San Fernando Municipal Code Section 58-28 [SFNC § 58-56].</p>		
38.	<p>The property owner shall comply with the requirements for development and improvement of the site as listed in the attached “Public Works Department Development / Improvement Review Checklist.” (See Attachment 1). All Public Works fees shall be paid prior to Issuance of a Building Permit. With any questions regarding Public Works conditions, please contact:</p> <p>Patsy Orozco, Civil Engineering Assistant II, POrozco@sanfernando.gov Emilio De Murga, Contract City Engineer, EDeMurga@willdan.com</p>	Public Works	
39.	<p><u>Fees.</u> Proof of payment of school fees and Public Works fees shall be provided to the Building Division.</p>	Building	
Prior to Issuance of a Certificate of Occupancy			
40.	<p><u>Anti-graffiti Coating.</u> The property owner shall apply two coats of anti-graffiti paint on all exterior building walls.</p>	Building	
41.	<p><u>Utilities.</u> All on-site utilities shall be located underground. Applicant shall provide any easements as necessary. Overhead utility facilities and distribution lines located on the site or off-site adjacent to the perimeter of the site shall be removed and/or placed underground unless determined to be unfeasible by Community</p>	Planning, Public Works	

	Development Department. The applicant shall comply with all development standards and health and safety requirements or guidelines of any relevant utility company, the Public Utilities Commission and the City of San Fernando ("City") relating to construction or commercial occupancy in proximity to any remaining overhead utility distribution facilities, and to the design of new utilities placed underground or elsewhere.		
42.	Provide protective bollards at the gas meter (exterior of structure) to prevent vehicular damage.	Building	
43.	<u>Electrical equipment.</u> Electrical distribution facilities/equipment (transformers, load centers, panel boxes and meters, major conductors, underground conduits, etc.) shall be designed/located in conformance with California Public Utilities Commission recommendations for "prudent avoidance" of exposures of dwelling unit occupants to power frequency electromagnetic fields (EMF) that are above background levels.	Building	
44.	<u>Security surveillance cameras</u> and video recording system shall be installed on the exterior of the building. The cameras and recording system shall be of adequate quality, color rendition, resolution to allow the identification of any individual present on the site and have the ability to capture and retain recordings for a minimum of 30 days. The location of the cameras and video recording system shall be approved by the Police Chief.	Police	
45.	The property owner shall re-stripe the parking area to City standards, and as approved by the Planning Division during entitlement review.	Building	
46.	<u>Final Inspection.</u> A final inspection shall be conducted by the Planning Division to ensure the development complies with the approved site plan review and all conditions attached thereto.	Planning	

Attachment: Public Works conditions

**CITY OF SAN FERNANDO PUBLIC WORKS DEPARTMENT
DEVELOPMENT / IMPROVEMENT REVIEW CHECK LIST**

PROJECT:

Chick-fil-A Restaurant

DATE: 1/6/26

ITEM		REQUIRED?		COMPLIED?	COMMENTS
		YES	NO		
1.	Site plan must show:				
	a. Existing building or structure	✓			
	b. Existing public improvements (concrete sidewalk driveways, curbs and gutters, parkway trees, streetlights, hydrants, etc.) including existing and proposed dimensions, square footage, etc.	✓			
	c. Existing utilities (gas, sewer, water, storm drains, catch basins, power poles).	✓			
2.	Submit offsite improvement plan.	✓			
3.	Prior to issuance of building permit:				
	a Pay sewer capital facility charge.	✓			<p><i>Based on Change-In-Use from Retail to Restaurant:</i></p> <p><i>Drive-in, fast-food seats:</i> 70 seats x \$270*/seat= \$18,900*</p> <p><i>Credit for Retail:</i> 17,500 sf x \$527*/1000sf = <u>-\$9,222.50</u> \$9,677.50*</p>
	b Pay water capital facility charge.		✓		Existing 2-inch water meter for domestic use. For additional water meters, please see attached water fee schedule.
	c Pay water service installation charge.		✓		Existing 2-inch water meter for domestic use. For additional water meters, please see attached water fee schedule.
	d Pay fire service installation deposit.	✓			<p>4-inch Fire Service</p> <p>Water Capital: \$5,198* Water Installation Deposit: \$8,954* \$14,152*</p> <p>OR</p> <p>6-inch Fire Service</p> <p>Water Capital: \$10,395* Water Installation Deposit: \$12,168* \$22,563*</p> <p><i>For additional fire services, please see attached water fee schedule</i></p>
	e Pay fire hydrant installation deposit.		✓		Unless City of Los Angeles Fire Department requires one for proposed development.
	f Pay PW Plan check fee.	✓			<p>PW Plancheck for SPR: \$2,325.00*</p> <p>PW Plancheck for plans and studies noted in #28: \$232.56*/hour</p>
	g Pay inspection fee (Offsite).	✓			

PROJECT ADDRESS: 603 San Fernando Road

ITEM	REQUIRED?		COMPLIED?	COMMENTS
	YES	NO		
h Provide labor and material bond.		✓		
i Provide performance bond.		✓		
4. Is there existing sewer house connection to property?	✓			<i>It is the responsibility of the developer to maintain, inspect, and repair on an as-needed basis the existing private sewer lateral.</i>
5. Is there existing water service to the property?	✓			<i>Existing 2" water meter.</i>
6. Provide separate water service for each building or separate ownership.		✓		<i>N/A</i>
7. Provide separate sewer connection for each building.		✓		<i>N/A</i>
8. Underground all utilities to each unit/building.	✓			
9. Cap off existing sewer connection that will no longer be used.		✓		
10. Replace existing old and substandard water service.		✓		
11. Upgrade existing substandard hydrant to 6-inch wet barrel hydrant (4"X 2.5" outlet).		✓		<i>Unless City of Los Angeles Fire Department requires it for proposed development.</i>
12. Install new hydrant per City standard.		✓		<i>Unless City of Los Angeles Fire Department requires one for proposed development</i>
13. Satisfy City of Los Angeles Fire Dept. fire flow requirements.	✓			<i>Obtain clearance from City of Los Angeles Fire Department.</i>
14. Provide City approved backflow device for the domestic water service and/or landscape irrigation, and provide proof that said equipment has been tested by a certified tester.	✓			<i>Provide <u>one</u> backflow device for every water service. Provide <u>additional</u> backflow device for irrigation/landscaping.</i>
15. Remove existing driveway approach that will no longer be used. Replace depressed curb.	✓			<i>On Truman Street and San Fernando Road: PW Permit is required prior to any work in the Public Right-Of-Way. Re-establish survey markers on curbs/sidewalks or centerline ties removed or damaged as part of improvements.</i>
16. Construct PCC driveway approach 6-inch thick per City Standard.	✓			<i>On Truman Street and San Fernando Road: PW Permit is required prior to any work in Public Right-Of-Way. Re-establish survey markers on curbs/sidewalks or centerline ties removed or damaged as part of improvements.</i>
17. Construct wheelchair ramp per City Standard.		✓		

PROJECT ADDRESS: 603 San Fernando Road

ITEM	REQUIRED?		COMPLIED?	COMMENTS
	YES	NO		
18.	Remove and replace broken, damaged, lifted, deteriorated concrete sidewalk adjacent to property.	✓		<p><i>On Truman Street and San Fernando Road:</i></p> <p><i>PW Permit is required prior to any work in Public Right-Of-Way.</i></p> <p><i>Re-establish survey markers on curbs/sidewalk or centerline ties removed or damaged as part of improvements.</i></p>
19.	Remove and replace broken curb/gutter adjacent to property.		✓	
20.	Plant parkway trees per City Standard and City Master Tree Plan.	✓		<p><i>Plant 7 <u>Lagerstroemia indica x fauriei</u> 'Natchez' (Natchez Crape Myrtle) or <u>Lagerstroemia indica x fauriei</u> 'Tuscarora' (Tuscarora Crape Myrtle) parkway trees (24-inch box) on Truman Street in empty tree wells and 6 <u>Lagerstroemia indica x fauriei</u> 'Natchez' (Natchez Crape Myrtle) or <u>Lagerstroemia indica x fauriei</u> 'Tuscarora' (Tuscarora Crape Myrtle) parkway trees (24-inch box) in empty tree wells on San Fernando Rd per City Standards. Developer shall provide irrigation to each parkway tree. PW Permit is required prior to any work in Public Right-Of-Way.</i></p>
21.	Construct tree wells per City Standard with tree grates.	✓		<p><i>In-lieu of tree grates, provide mulch to trees in parkway tree wells.</i></p>
22.	A permit from the Public Works Dept. (Engineering Division) is required for all offsite improvements.	✓		
23.	All on-site pavement shall be minimum of 3-inch AC on 4-inch CAB or 6-inch PCC pavement without soil recommendation.	✓		
24.	Construct trash enclosure with roof, nominal size 5 feet X 9 feet with PCC slab and 6-inch PCC curb with 6-inch PCC apron.	✓		
25.	Verify that clarifier/grease trap intercepts effluent before entry into the sewer lateral.	✓		<p><i>Size and type of grease trap(s) shall be determined by Los Angeles County Department of Industrial Waste.</i></p> <p><i>Must obtain clearance from:</i> Los Angeles County Department of Industrial Waste: 900 S. Fremont, 3rd Floor Alhambra, CA Phone: (626) 458-3517 Email: IW@pw.lacounty.gov</p>
26.	Federal NPDES Requirements			
	a. Submit SWPPP Owners' Certification (form OC1 attached) that incorporates construction BMPs in compliance with Federal NPDES.		✓	
	b. Provide a SUSMP that incorporates design elements and facility BMPs in compliance with Federal NPDES.		✓	

PROJECT ADDRESS: 603 San Fernando Road

ITEM	REQUIRED?		COMPLIED?	COMMENTS
	YES	NO		
27.	Comply with all applicable existing conditions of approval for the proposed development.	✓		
28.	<p>Additional requirements: <i>*Sewer and Water Capital and Installation fees, as well as other PW fees are subject to change. For water deposits please refer to SFMC Sec.94-265 for further details. The latest fee will be assessed prior to sign off for building permit.</i></p> <ul style="list-style-type: none"> • Need Industrial Waste Clearance prior to issuance of Building Permit. • Install a hydrant break away as well as hydrant guard check valves to the fire hydrant located at the corner of Truman Street and Fox Street. • Trip Generation Assessment provided by Linscott, Law, and Greenspan, Engineers, dated 6/4/25 was approved by Farhad Iranitalab, PE, TE, Willdan Engineering, on 10/6/25. Queuing Assessment provided by Linscott, Law, and Greenspan, Engineers, dated 6/4/25 was approved with comments by Farhad Iranitalab, PE, TE, Willdan Engineering, on 10/6/25. Pay fee for review of Traffic Study \$5,900.00* • Implement Traffic Study recommendations and improvements. Provide Traffic/Striping Plan for any improvements noted in the Traffic Study. • On Truman Street, a streetlight will require relocation due to the construction of a proposed drive approach for the project. This will require the removal of a street tree and construction of a new tree well and planting a replacement tree. • Provide Grading and Drainage Plan. No cross drainage is allowed across adjacent properties. • Sewer manhole rim is currently sitting on the manhole structure without concrete collar. Set sewer manhole rim located near southwest corner of the property in concrete. • Comply with applicable federal NPDES requirements. Submit LID Plan. Pay NPDES and LID review \$232.56*/hour. • Complete Cross-Connection Survey and submit to Victor Meza, the Water Department. • Conduct Fire Flow Test to ensure existing water infrastructure meets the demand of proposed development. Fire Flow Test: \$765* • The developer is responsible for protecting in place all existing street trees. All street tree removal, pruning and trimming is not allowed without the consent of the Director of Public Works or his representative. All tree replacements shall be at the discretion of the Director of Public Works or his representative per the current City replacement policy. 			



 PUBLIC WORKS DEPARTMENT

1/6/2026

 DATE

ATTACHMENT A/EXHIBIT B

Class 32 Categorical Exemption

**603 San Fernando Road
Chick-fil-A Project**

Prepared for:

City of San Fernando
Community Development Department
117 Macneil Street
San Fernando, CA 91340

Prepared by:

Kimley»Horn

Kimley-Horn and Associates, Inc.
660 South Figueroa Street, Suite 2050
Los Angeles, CA 90017
Contact: Jessie Barkley

April 2026

Table of Contents

Project Description 1

 Introduction 1

 Project Location and Surrounding Land Uses 1

 Existing Uses 1

 Land Use Designations and Zoning 2

 Project Summary 2

 Access 2

 Utilities 3

 Lighting and Signage 3

 Sustainability Features 3

 Construction Schedule 3

 Requested Concessions/ Incentives 3

 Section 15332, Class 32 7

 City of San Fernando General Plan and San Fernando Corridors Specific Plan 7

Figures

Figure 1: Regional Map 4

Figure 2: Aerial of the Project Site 5

Figure 3: Site Plan 6

Appendices **(Link to Appendices on Page 14)**

- Appendix A: Tree Report
- Appendix B: AQ Anaysis
- Appendix C: Noise Analysis
- Appendix D1: Drive-Through Queing Assessment
- Appendix D2: Trip Generation Assessment
- Appendix E: Phase I ESA
- Appendix F: Phase II ESA

PROJECT DESCRIPTION

Introduction

The Project is located at 603 San Fernando Road (Project) in the City of San Fernando (City) within Los Angeles County. The Project Site is bound by Truman Street to the north/northeast, Fox Street to the southeast, San Fernando Road to the south/southwest, and industrial uses and Wolfskill Street to the northwest. Surrounding land uses are primarily industrial with the exception of Cesar E. Chavez Memorial Park located to the north/northeast beyond Truman Street. The Project Site is 1.4 acres with an Assessor's Parcel Number (APN) of 2522-034-016. The Project would result in the construction of a Chick-fil-A quick-service restaurant with a drive-thru.

Project Location and Surrounding Land Uses

The City is located in the northeast section of the San Fernando Valley at the southern foot of the San Gabriel Mountains. The City is 2.4 square miles and is surrounded by the City of Los Angeles, including the nearby communities of Sylmar, Mission Hills and Pacoima. (**Figure 1: Regional Map**).

The Project Site is located within an urban setting. Adjacent to the Project Site to the south and west is San Fernando Road and one- and two-story industrial uses and associated surface parking. To the north are Truman Street, Cesar E. Chavez Memorial Park, and railroad tracks. Further north, is the recently completed Regional Park Infiltration Project near the intersection of Park Avenue and First Street. To the southeast, is Fox Street and a parklet with landscaping. Adjacent to the Project Site to the north, are industrial automotive uses and surface parking. (**Figure 2: Aerial of Project Site**).

Regional access to the Project Site is provided by Interstate 210 (I-210) 1.6 miles to the northeast, Interstate 5 (I-5) 1 mile to the west and State Route 118 (FWY 118) 0.8-miles to the south. Transit service within the area is provided by LA Metro. The Metrolink station Sylmar/San Fernando is located 1.2 miles northwest from the Project Site.

Existing Uses

The Project Site is currently occupied by a one-story car dealership (Ganas Auto) and associated service center and surface parking. The Project Site includes limited vegetation that consists of ornamental landscaping. On the Project Site there are 15 trees (12 trees on-site and 3 street trees). The 3 street trees are Tulip trees, with 2 located on Truman Street and 1 on San Fernando Road. The 12 on-site trees include 8 Mexican Fan Palms, 1 Silk Tree, and 3 Crape Myrtles. Per the Tree Report prepared for the Project, one street tree is in poor condition, and two are in fair condition (See **Appendix A**).¹

¹ Chick-Fil-A San Fernando Road and Truman. Prepared by Javier Cabral Consulting Arborist. April 29, 2024

Land Use Designations and Zoning

The Project Site is located within the San Fernando Corridors Specific Plan (SP-5) (adopted 2017). The purpose of the San Fernando Corridors Specific Plan is to “transform Truman Street, San Fernando Road, Maclay Avenue, and First Street into attractive, livable, and economically vibrant districts.” The Project Site is within the Auto Commercial District of the San Fernando Corridors Specific Plan which aims to accommodate auto dealerships, while also allowing retail, restaurant, and office uses.

Project Summary

The Project would construct a one-story 4,892 square foot (sf) 90-seat Chick-fil-A restaurant with a 220-sf outdoor seating area and an associated drive-thru. On the northern portion of the Project Site, the Project would provide 74 parking stalls which would include 58 standard stalls, 3 Americans with Disabilities Act (ADA) accessible stalls, 3 Electric Vehicle Charging Station (EVCS) stalls, and 10 Electric Vehicle (EV) capable stalls. The Project would include 6 bicycle stalls (4 short term and 2 long term) (Figure 3: Conceptual Site Plan).

The southern portion of the Project Site would include the Chick-fil-A restaurant and the U-shaped drive-thru that would be adjacent to Fox Street. Vehicle access to the Project site would be provided via two driveways: one two-way driveway along Truman Street and one two-way driveway along San Fernando Road. The number of employees would range from 20 to 25 employees during a peak shift and 10 to 15 employees during an off-peak shift.

The Project would result in the removal of 12 of the on-site trees and 1 street tree. Two of the three existing street trees would remain: 1 on Truman Street and 1 on San Fernando Road. The Project would provide 15,537 sf of landscaping, including new trees, shrubs, and vines. The Project would include 36 new trees (Western Redbud, Australian Willow, Holly Oak, Chinese Elm and Red Push Pistache).

Demolition of existing uses would be performed by the existing tenants of the automotive uses and would occur prior to Chick-fil-A having possession of the Project Site.

Access

Vehicular access to the Project Site would to be provided via one driveway on San Fernando Road and one driveway on Truman Street. All three existing driveways (i.e., two on San Fernando Road and one on Truman Street) would be removed. Descriptions of the access points are provided in further detail below:

San Fernando Road Driveway

The southerly driveway along San Fernando Road would provide access to the Project’s on-site parking areas as well as ingress/egress from the drive-through service lanes. This driveway would accommodate full access (i.e., left- and right-turn inbound and outbound movements to and from San Fernando Road). Ingress to the drive-through service lanes would predominately utilize this driveway as it is situated just west of the drive aisle from vehicles entering the drive-through lanes.

Truman Street Driveway

The northerly project driveway along Truman Street would provide access to the Project's on-site parking areas and drive-through services lanes. This driveway would accommodate restricted access (i.e., right turn inbound and right-turn outbound movements only to and from Truman Street) due to the painted median on Truman Street. Egress from the drive-through service lanes would predominately utilize this driveway as it is situated just west of the drive aisle for vehicles exiting the drive-through lanes.

Within the Project Site, vehicle circulation would be accommodated by drive aisles which provide access to the surface parking areas and the drive-through service queuing lanes. The service lanes would wrap counter-clockwise around the Chick-fil-A restaurant and would accommodate up to 28 vehicles in a queue. Menu ordering boards would be located in each of the drive-through service lanes under an Order Point canopy.

Utilities

The Project would be served by existing utility infrastructure including the existing water and sewer lines on Truman Street and San Fernando Road.

Lighting and Signage

Lighting for the Project is intended to minimize light trespass and glare from buildings and the Project Site onto adjacent properties and to provide safety and nighttime visibility through shielded, focused, and directed illumination.

Sustainability Features

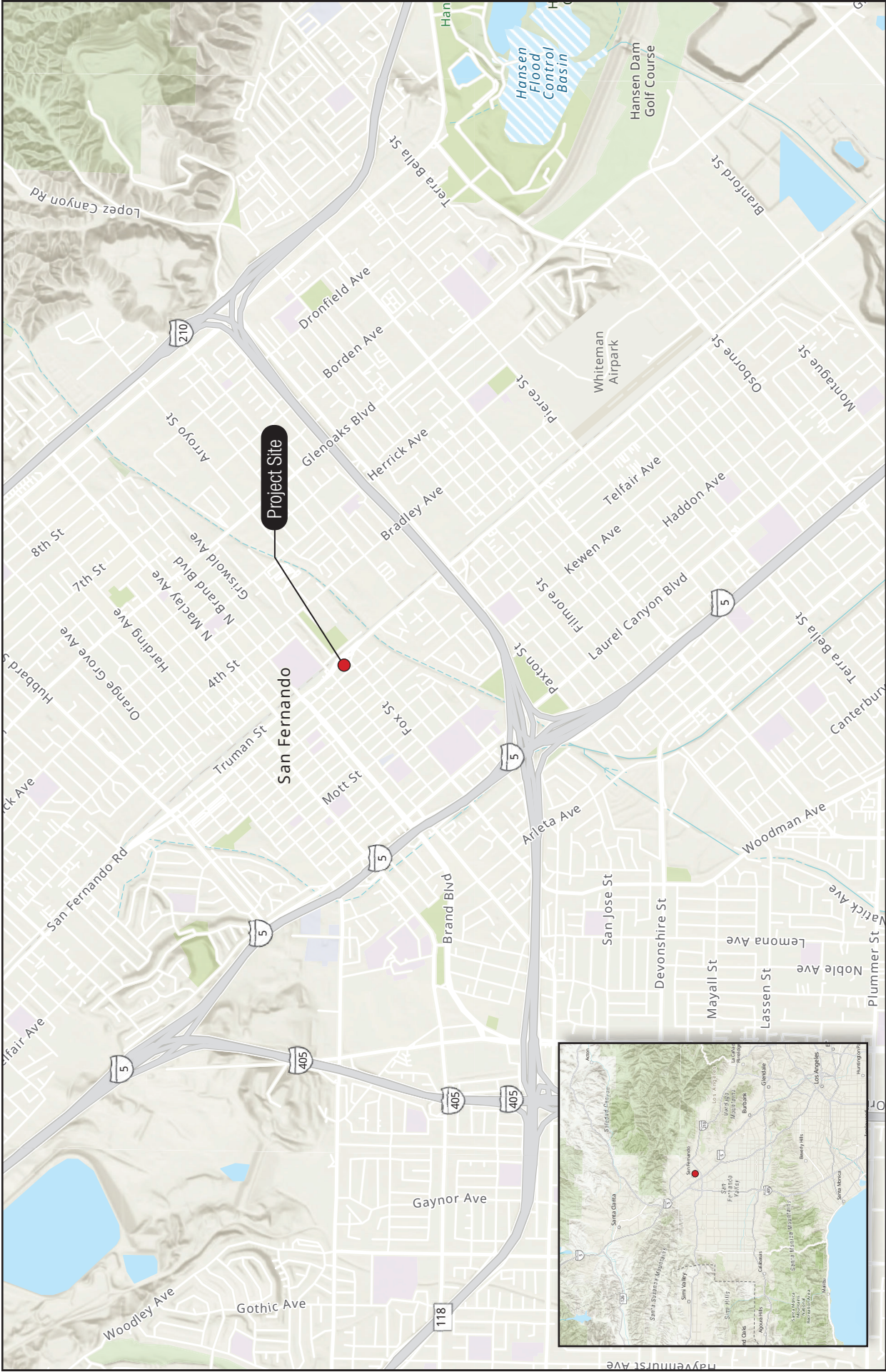
The Project would include High Efficiency Lighting, a solar ready roof (736 sf), energy efficient appliances, Electric Vehicle Charging Stations, low-flow fixtures, water-efficiency irrigation, drought tolerant landscaping, and receptacles for waste recycling and composting.

Construction Schedule

Project construction is anticipated to occur over approximately five months beginning August 2026 and ending in January 2027. Approximately 471 cubic yards (CY) of soil would be exported.

Requested Approvals

Site Plan Review, Conditional Use Permit for drive thru facility, and Conditional Use Permit to Continue Use of the Pole Sign



SOURCE: ArcGIS Pro, 2025



FIGURE 1: Regional Location Map

603 SAN FERNANDO ROAD PROJECT



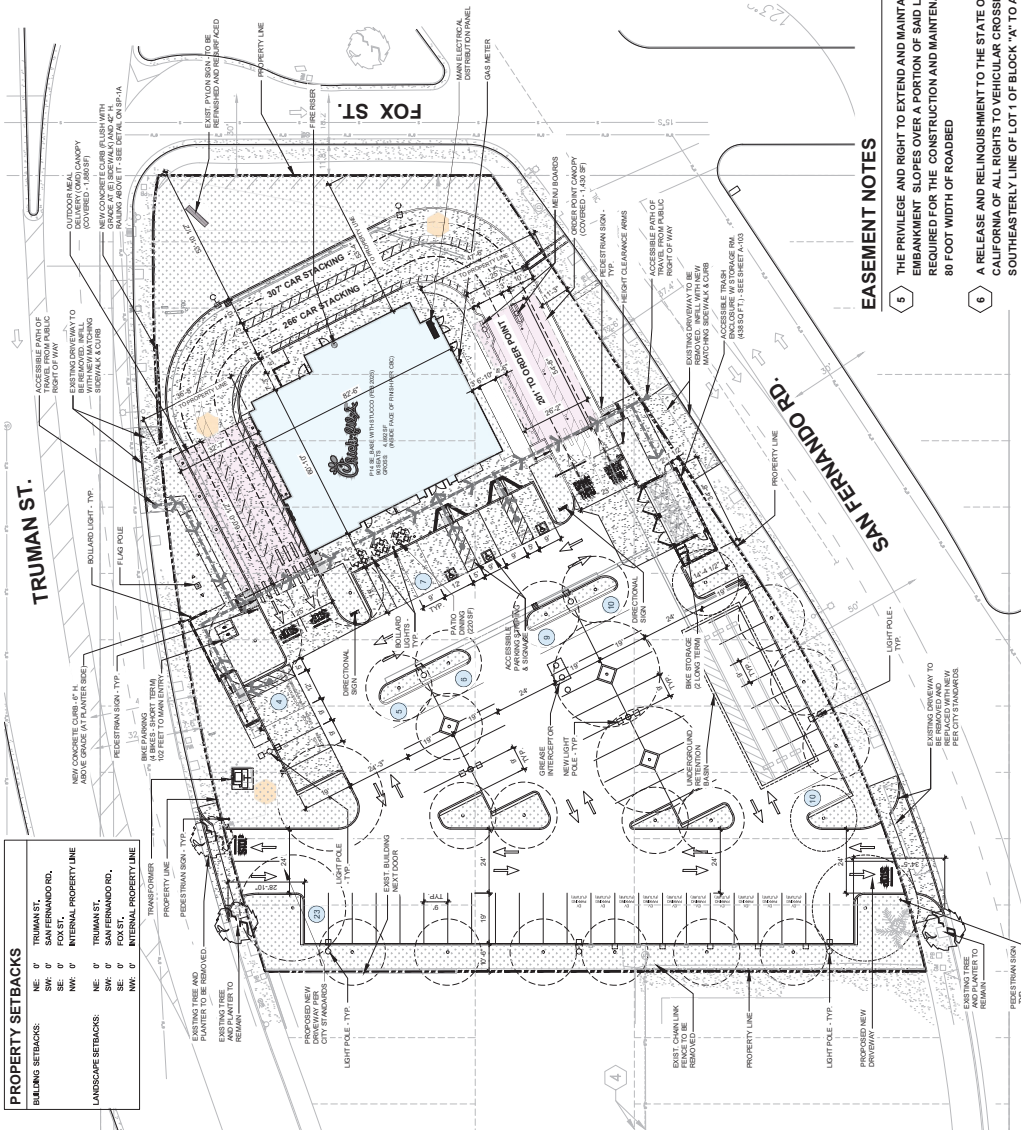
SOURCE: Nearmap, 2025



FIGURE 2: Aerial Map

603 SAN FERNANDO ROAD PROJECT

PROPERTY SETBACKS	
BUILDING SETBACKS:	NE: 0' TRUMAN ST.
	SW: 0' SAN FERNANDO RD.
	SE: 0' FOX ST.
	NW: 0' INTERNAL PROPERTY LINE
LANDSCAPE SETBACKS:	NE: 0' TRUMAN ST.
	SW: 0' SAN FERNANDO RD.
	SE: 0' FOX ST.
	NW: 0' INTERNAL PROPERTY LINE



SITE STATISTICS	
74 SPACES TOTAL	
PROPOSED PARCEL AREA: 62,554 S.F. (1.436 ACRES)	
CAR STACK LENGTH: 573 FT TOTAL (26 CARS)	
ORDER POINT: 201 FT INNER LANE (10TH CAR)	



- EASEMENT NOTES**
- THE PRIVILEGE AND RIGHT TO EXTEND AND MAINTAIN 2:1 ENBANKMENT SLOPES OVER A PORTION OF SAID LAND WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE OF AN 80 FOOT WIDTH OF ROADBED
 - A RELEASE AND RELINQUISHMENT TO THE STATE OF CALIFORNIA OF ALL RIGHTS TO VEHICULAR CROSSING OF THE SOUTHEASTERLY LINE OF LOT 1 OF BLOCK "A" TO AND FROM A PUBLIC STREET TO BE CONSTRUCTED ON LAND ABUTTING SAID LOT 1 ON THE SOUTHEAST

- LEGEND**
- PROPOSED LANDSCAPE AREA: [Pattern]
 - NEW CONC. SIDEWALK: [Pattern]
 - PROPERTY LINE: [Line]
 - PROPOSED CFA WORK LIMIT: [Line]
 - PROPOSED CANOPY AREA: [Pattern]
 - NEW CONC. CURB: [Line]
 - ACCESSIBLE PATH OF TRAVEL: [Line]
 - NUMBER OF PARKING SPACES: [Symbol]

SOURCE: CRHO Architects, 2025

FIGURE 3: Site Plan

603 SAN FERNANDO ROAD PROJECT



The Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to the following categorical exemption from the State CEQA Guidelines.

Section 15332, Class 32

This exemption permits projects characterized as in-fill development meeting the following conditions:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.
- (c) The project site has no value as habitat for endangered, rare or threatened species.
- (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- (e) The site can be adequately served by all required utilities and public services.

The Project would meet all conditions outlined under Section 15332 of the CEQA Guidelines as described below:

- (a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.*

City of San Fernando General Plan and San Fernando Corridors Specific Plan

The San Fernando General Plan, outlines goals, policies, and directions aimed at achieving the City's vision for the community and its future development. The Project Site is located within the San Fernando Corridors Specific Plan (SP-5) (adopted 2017).

The San Fernando Corridors Specific Plan sets forth the planning principles, land use policies, development standards, and design guidelines for private development and public improvements within the specific plan area. In doing so, the specific plan implements the goals, objectives, and policies identified in the City of San Fernando General Plan, with particular emphasis in implementing the goals and objectives set forth in the General Plan's Land Use, Housing, and Circulation Elements.²

The San Fernando Corridors Specific Plan encompasses the full lengths of Truman Street, San Fernando Road, and Celis Street within the city, from the eastern boundary with Pacoima to the western boundary with Sylmar. The purpose of the San Fernando Corridors Specific Plan is to "transform Truman Street, San Fernando Road, Maclay Avenue, and First Street into attractive, livable, and economically vibrant districts." The Project Site is within the Auto Commercial District of the San Fernando Corridors Specific Plan which aims to accommodate auto dealerships, while also allowing retail, restaurant, and office uses.

² San Fernando Corridors Specific Plan, Page 12 (2017)

The Project would construct a commercial use, in the form of a Chick-fil-A quick-service restaurant, as allowed by the Specific Plan land use designations and zoning. The Project would be designed for consistency with all applicable Specific Plan policies and requirements. As such, the Project is consistent with this condition.

(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.

The Project Site is 1.4 acres and is located within the City of San Fernando city limits and is substantially surrounded by urban uses. The Project would meet the condition of occurring within city limits on a project site of no more than five acres substantially surrounded by urban uses. As such, the Project is consistent with this condition.

(c) The project site has no value as habitat for endangered, rare or threatened species.

The Project Site is located a highly developed urban setting. According to the National Wetlands Inventory mapped by the United States Fish and Wildlife Service (USFWS), there are no riparian or wetland habitats on or near the Project Site. The Project would result in the removal of the on-site trees and 1 street tree. Two of the three existing street trees would remain: 1 on Truman Street and 1 on San Fernando Road. The Project will not conflict with the City's Tree Protection and Preservation Ordinance. If any off-site trees may be impacted by construction activities, a certified arborist will conduct a tree inventory of the construction impact area.

The existing Project Site shows no evidence that wildlife habitat exists since the Project Site has been previously developed and disturbed. Likewise, the Project Site is not known to support any rare, endangered, or special status plant species. There are no riparian habitats, wetlands or other sensitive natural communities on the subject site that would be affected by the Project. As such, the Project is consistent with this condition.

(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.

Air Quality

An Air Quality Memorandum was prepared by Kimley-Horn Associates, February 2026, for the Project (**Appendix B**). The memorandum evaluated the potential air quality impacts associated with construction and operations of the Project. As determined in the Air Quality Memorandum, Project implementation would result in less than significant construction and operational air quality impacts. No mitigation measures would be required. Therefore, the Project would not result in any significant effects relating to air quality.

Noise

A Noise Memorandum, was prepared by Kimley-Horn Associates, February 2026, for the Project (**Appendix C**). The memorandum evaluated the potential noise impacts associated with construction and operations of the Project. As determined in the Noise Memorandum, Project implementation would result in less than significant short- and long-term noise impacts and comply with the City's General Plan and Municipal Code

requirements. Therefore, Project related noise impacts would be less than significant. No mitigation or noise abatement features would be required.

Traffic

A Drive-Through Queuing Assessment, was prepared by Linscott, Law & Greenspan, Engineers (LLG), June 2025 for the Project. A Trip Generation Assessment was prepared by LLG, June 2025 for the Project. Both Assessments are contained in **Appendix D**. These assessments and conclusions are described below:

Drive-Through Queuing Assessment

The Drive-Through Queuing Assessment (See **Appendix D1**), was based in part on empirical queuing survey data collected at other existing comparable Chick fil- A restaurants, the forecast project queuing demand, and the Project Site's overall access and on-site circulation as it relates to the drive-through service lanes queuing area.

The Project is planned to accommodate up to 28 vehicles in dual-loaded drive-through service lanes totaling a queuing capacity of 573 feet in length. Two additional vehicle positions are provided when staff direct patrons to pull forward beyond the building (to the STOP line adjacent to the patio dining area), which would then increase the queuing capacity to 30 vehicles. As determined in the Drive-Through Queuing Assessment, it anticipated that the proposed service-lane vehicle queue storage area would adequately accommodate the maximum vehicle queues observed at similar sites. In addition, similar to other existing Chick-fil-A restaurants, Chick-fil-A employees/order takers would be deployed during peak hours, as necessary, to conduct remote ordering with tablets in order to expedite drive-through operations. In addition, clear signage directing vehicles to the drive-through service lane would be installed on the project site to minimize unnecessary circulation within the Project Site.

In summary, as determined in the Drive-Through Queuing Assessment, the planned excess vehicle storage proposed at the Chick-fil-A restaurant drive-through lanes, as well as the vehicle queue management strategies would ensure that on-site vehicle circulation is not impeded and that vehicle queues do not extend to San Fernando Road or Truman Street.

Trip Generation Assessment

According to the Trip Generation Assessment (See **Appendix D2**), the Project is forecast to generate 1,545 net new daily trips, with 39 net new vehicle trips (13 inbound, 26 outbound) during the AM peak hour and 68 net new vehicle trips (41 inbound, 27 outbound) during the PM peak hour on a typical weekday.

In addition to the project trip generation forecasts, the project trip distribution and assignment were determined based on existing travel patterns and the immediate roadway access. The total inbound Project volumes are anticipated to be at most 54 vehicles during the AM peak hour and 112 vehicles during the PM peak hour.

Similarly, the total outbound project volumes are anticipated to be at most 62 vehicles during the AM peak hour and 88 vehicles during the PM peak hour. The net total of trips generated from the Project are not

anticipated to create a significant traffic adverse effect. Therefore, the Project would not result in any significant effects relating to traffic.

The City of San Fernando does not have their own VMT guidelines; therefore, the County of Los Angeles' *Transportation Impact Analysis Guidelines* (July 2020) were used as the VMT guidelines for this Project.

A local-serving retail project with space of less than 50,000 square feet would be considered to have a less-than-significant impact. Since the project involves local-serving retail fast-food restaurant, the project would screen out of VMT under Locally Serving Retail criteria.

In accordance with the County guidelines, the proposed project is presumed to result in a less-than-significant VMT impact and support the goals of SB 743. No further VMT assessment is anticipated.

(e) The site can be adequately served by all required utilities and public services.

The Project is located in an urban area already served by all necessary municipal utilities; including water, wastewater, stormwater, and solid waste; and public services; including fire, police, schools, and libraries. The Project would be consistent with the land use designation established by the General Plan and Specific Plan for the Project Site.

Since the Project is consistent with the General Plan land use designation, the Project would not result in any significant impacts, and therefore would not have the potential to significantly contribute to cumulative impacts related to utilities and public services. As the job growth related to Project development would be consistent with growth anticipated in the General Plan, it would not be substantial unplanned growth that would warrant modification of existing or construction of new police and fire service facilities beyond what is projected in the General Plan. Therefore, the Project can be adequately served by all required utilities and public services. The Project would meet this condition.

As described in (a) through (e) above, the Project would qualify for a Class 32 exemption.

Categorical Exemption Exceptions

The Project does not meet any of the exceptions to Categorical Exemptions listed in CEQA Section 15300.2. The analysis below identifies the exceptions and substantiates how the Project does not meet those exceptions.

a) Location. Classes 3, 4, 5, 6, and 11 are qualified by consideration of where the project is to be located – a project that is ordinarily insignificant in its impact on the environment may in a particularly sensitive environment be significant. Therefore, these classes are considered to apply in all instances, except where the project may impact an environmental resource of hazardous or critical concern where designated, precisely mapped, and officially adopted pursuant to law by federal, state, or local agencies.

The Project qualifies for a Class 32 exemption. Class 32 exemptions are not qualified by consideration of project location. Thus, the Project would not meet this exception to the exemption.

b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.

There are no known projects of the same type and in the same place that would contribute to cumulative impacts. Therefore, cumulative impacts are less than significant. Additionally, because of the proposed project's consistency with the land use designation established by the Specific Plan and lack of project-specific significant impacts, its contribution, if any, to cumulative impacts would be less than significant. Furthermore, as shown in the analysis above for Class 32 conditions (a) through (e), the proposed project would not result in any significant impacts, and therefore would not have the potential to significantly contribute to cumulative impacts related to those environmental issues.

c) Significant Effect. A categorical exemption shall not be used for an activity where there is a reasonable possibility that the activity will have a significant effect on the environment due to unusual circumstances.

The Project site has been previously disturbed by the construction and installation of the existing facilities to be altered. The Project would be designed to enhance and improve existing conditions on the Project site that would not substantially impact existing environmental conditions. Refer to the discussion included in Section 15332, Class 32 (a) through (e), and Categorical Exemption Exceptions d) through f) for further discussion to support no anticipated Project impacts related to the environment. The Project Site does not have any unusual circumstances that would cause implementation of the Project to negatively impact the environment. Thus, the Project would not result in any significant effects on the environment due to unusual circumstances.

d) Scenic Highways. A categorical exemption shall not be used for a project which may result in damage to scenic resources, including but not limited to, trees, historic buildings, rock outcroppings, or similar resources, within a highway officially designated as a state scenic highway. This does not apply to improvements which are required as mitigation by an adopted negative declaration or certified EIR.

There are no Officially Designated State Scenic Highways within or adjacent to the Project Site.³ The nearest Officially Designated State Scenic Highway is California State Route 2, located approximately 13 miles east of the Project Site. The nearest highway eligible for listing as an Officially Designated State Scenic Highway is Highway 210, which is located approximately 1.6 miles northeast of the Project Site. All Project activities would be located within the Project Site and the profile of the Project building would not be visible from these highways. Therefore, the Project would not impact Eligible or Officially Designated State Scenic Highways due to the distance of the nearest Eligible and Designated State Scenic Highway from the Project Site.

The Project would not result in damage to scenic resources within view of an Officially Designated or Eligible State Scenic Highway or a scenic resource identified by the City's General Plan. Thus, this exception to the exemption does not apply.

³ California Department of Transportation. California State Scenic Highway System Map.

<https://dot.ca.gov/programs/design/lap-landscape-architecture-and-community-livability/lap-liv-i-scenic-highways>

Accessed February, 2026.

e) Hazardous Waste Sites. A categorical exemption shall not be used for a project located on a site which is included on any list compiled pursuant to Section 65962.5 of the Government Code.

The Project Site is not located on a list compiled pursuant to Section 65962.5 of the Government Code. The Project Site would not be designated as a historic recognized environmental concern based on reviews of historical documents and the present Project Site conditions. Therefore, the Project would not result cause a significant impact on hazardous waste sites.

A Phase I Environmental Site Assessment (ESA) was prepared by Giles Engineering Associates March 1, 2024 for the Project (**Appendix E**). A Limited Phase II ESA , was prepared by Giles Engineering Associates January 19, 2026, for the Project (**Appendix F**). Historically, the Site operated as a gas station from 1939 - 1940 (613 San Fernando Road) and 1949 - 1950 (615 San Fernando Road) and with numerous automobile repair and/or service shops from at least 1949 to 2022.

The Phase II ESA noted that several VOCs were detected in each of the soil gas samples collected at the Project Site. The risk of soil gas migration into structures at the Site is considered low to moderate.

A Limited Phase II ESA indicated that undocumented USTs may remain on Project Site. As a condition of approval, before construction, additional investigation, such as test trenching, shall be conducted in the areas of the identified anomalies to adequately assess the presence of USTs. Additionally, a contingency plan should be prepared to properly manage any undocumented USTs that could be encountered during redevelopment of the Project Site.

The Limited Phase II ESA indicated that the Project Site contains soils that are impacted above applicable screening levels as well as a low- to moderate potential for soil gas migration into on-site structures due to volatile organic compounds (VOCs). As a condition of approval, the Project would comply with SCAQMD Rule 1166 that would provide for the monitoring of disturbed soil at the Project Site. SCAQMD Rule 1166 procedures would be used to detect the presence and concentrations of VOCs and establish worker protection protocols, control of VOC and dust emissions, soil handling, and disposal requirements.

Additionally, as a condition of approval, the Project will limit potential vapor intrusion impacts, which may include implementation of a passive vapor intrusion system. The system shall comply with applicable local, state and federal regulations.

f) Historical Resources. A categorical exemption shall not be used for a project which may cause a substantial adverse change in the significance of a historical resource.

The Project Site is currently occupied by a one-story car dealership (Ganas Auto) and associated service center and surface parking. The one-story car dealership and associated parking on the Project site would be demolished. The car dealership on the Project Site was built in 1998 and is 28 years old, and therefore not old enough to be considered as historic resource.⁴ The existing car dealership building is not identified as a Historic Resource as identified in the City of San Fernando Historic Preservation Element (2005).

⁴ The National Register criteria recognize seven qualities that define integrity: location, design, setting, materials, workmanship, feeling, and association. Structures, sites, buildings, districts, and objects over 50 years of age can be listed in the National

Therefore, the Project would not be anticipated to cause a substantial adverse change in the significance of a historical resource and this exception to the exemption does not apply.

Conclusion

This report provides analysis to demonstrate that the Project is eligible for a CEQA Class 32 Exemption. The Project is consistent with the Specific Plan Designation and zoning and is located on a Project site of no more than 5 acres surrounded by urban uses. The Project site has no value as habitat for endangered, rare, or threatened species. With implementation of applicable General Plan policies and compliance with the City's Municipal Code, approval of the Project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and the Project site can be adequately served by all required utilities and public services. Therefore, the Project meets the criteria of CEQA Guidelines Section 15332(a) through (e). The Project would not rely on the location exceptions under CEQA Guidelines Section 15300.2, nor would it result in cumulative impacts or Project-specific significant effects. Furthermore, the Project site would not damage State Scenic Highway resources and does not contain hazardous waste nor historical resources. Therefore, the exceptions under CEQA Guidelines Section 15300.2(a) through (f) do not apply to the Project.

Register as significant historical resources. Properties under 50 years of age that are of exceptional importance or are contributors to a district can also be included in the National Register.

Class 32 Categorical Exemption
603 San Fernando Road
Chick-fil-A Project

LINK TO APPENDICES OF CLASS 32 EXEMPTION MEMO:

https://www.sanfernando.gov/files/assets/public/v/6/government/documents/community-development/attachment-a-exhibit-b-603-san-fernando-rd_spr2024-029-cup2024-002_ppc-4-17-26-ar_ceqa-appendices.pdf



NOTICE OF A PUBLIC HEARING

THE CITY OF SAN FERNANDO
PLANNING AND PRESERVATION COMMISSION

NOTICE IS HEREBY GIVEN that the Planning and Preservation Commission of the City of San Fernando will hold a public hearing on Conditional Use Permit No. CUP2024-002 and Site Plan Review No. SPR2024-029:

DATE: April 13, 2025

TIME: 5:30 p.m.

HEARING LOCATION: City Hall Council Chambers, 117 N Macneil Street, San Fernando, CA 91340

PROJECT LOCATION: 603 SAN FERNANDO ROAD

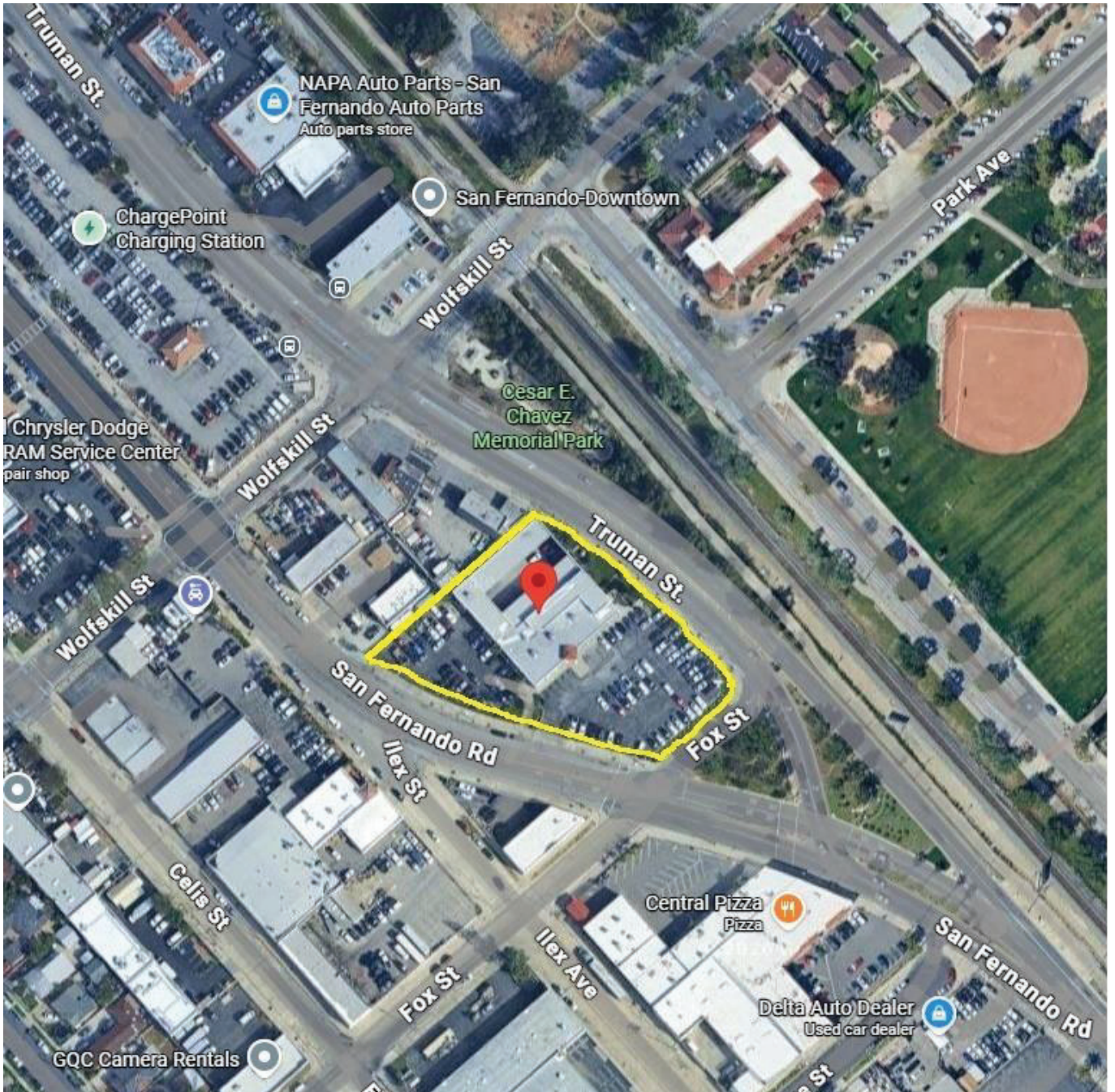
PROJECT DESCRIPTION: Conditional Use Permit (CUP2024-002) is a request to allow the operation of a new drive-thru restaurant at 603 San Fernando Road in the Auto-Commercial District of the San Fernando Corridors Specific Plan (SP-5), and to continue use of the existing legal nonconforming free-standing pole sign. Site Plan Review (SPR2024-029) is a request for the demolition of an existing 17,500 sq. ft. commercial structure and the construction of new 4,892 sq. ft. 90-seat Chick-fil-A drive-thru restaurant with a 1,430 sq. ft. detached order point canopy, an attached 1,880 sq. ft. drive-thru canopy, a 220 sq. ft. outdoor patio, and associated improvements, including 15,537 sq. ft. of landscaping and 74 parking spaces.

ENVIRONMENTAL REVIEW: Pursuant to the California Environmental Quality Act (CEQA), the approval of the proposed project is exempt from further environmental analysis under a Class 32 Categorical Exemption (Section 15332), In-Fill Development Project. The project meets all the conditions of a Class 32 categorical exemption: it is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designations and regulations; the proposed development occurs within the city limits on a project site of no more than five acres substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare, or threatened species; approval of the project would not result in any significant effects related to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services.

The City of San Fernando strongly encourages your participation. Interested members of the public may provide verbal comments or written comments regarding any aspect of the proposed project during the public hearing on this matter. Additionally, public comments may be submitted via email to CommunityDevelopment@sanfernando.gov or mailed to Community Development Department, 117 N Macneil Street, San Fernando, CA 91340, by 5:00 PM on the date of the meeting. If you have any questions, please contact Jose Mendivil, Planning Manager, at JMendivil@sanfernando.gov or call (818) 898-1217.

Ronald Garcia
Community Development Director

**603 SAN FERNANDO ROAD
SAN FERNANDO, CA, 91340**



CODE INFORMATION

BUILDING CODE: 2022 CALIFORNIA BUILDING CODE
 PLUMBING CODE: 2022 CALIFORNIA PLUMBING CODE
 MECHANICAL CODE: 2022 CALIFORNIA MECHANICAL CODE
 ELECTRICAL CODE: 2022 CALIFORNIA ELECTRICAL CODE
 ACCESSIBILITY CODE: 2022 CALIFORNIA BUILDING CODE
 ENERGY CODE: 2022 CALIFORNIA ENERGY CODE
 FIRE CODE: 2022 CALIFORNIA FIRE CODE
 GAS CODE: 2022 CALIFORNIA PLUMBING CODE

BUILDING & SITE DATA

OCCUPANCY: A2 (RESTAURANT)
 FIRE SPRINKLERED: YES
 CONSTRUCTION TYPE: V-B
 SITE AREA: 62,554 s.f. (1.436 Acres)
 BUILDING AREA: 4,892 s.f.
 CANOPY #1 (ORDER POINT) : 1,430 s.f.
 CANOPY #2 (DRIVE-THROUGH) : 1,880 s.f.
 TRASH ENCLOSURE (ROOFED) : 438 s.f.
 TOTAL LOT COVERAGE - PROPOSED 8,640 s.f. (13.8%)
 TOTAL LOT COVERAGE - EXISTING 19,363 s.f. (30.95%)

OUTDOOR PATIO AREA: 220 s.f.
 LANDSCAPE AREA: 15,537 s.f. (24.8% COVERAGE)
 PARKING SHADE AREA: 13,661 s.f. (52% COVERAGE OF UNCOVERED PARKING AREA)
 FAR: 7.82%
 ZONING: SP-5 (CORRIDORS SPECIFIC PLAN)
 APN: 2522-034-016

PARKING

PARKING SPACES REQUIRED:	18
BASIS: 3.3 SPACES / 1000 s.f. OF GROSS FLOOR AREA INCLUDING OUTDOOR PATIO	
BUILDING AREA : 4,892 SQ FT / 1000 = 4.89 X 3.3	16.14
OUTDOOR PATIO: 220 SQ FT / 1000 = 0.22 X 3.3	0.73
PARKING SPACES REQUIRED :	17
PARKING SPACES PROVIDED:	74
STANDARD SPACES:	58
ACCESSIBLE SPACES:	3 (1 VAN ACCESSIBLE)
EVCS SPACES:	3 (1 VAN ACCESSIBLE)
EV CAPABLE SPACES:	10 (FUTURE EV STALLS)
SHORT-TERM BICYCLE SPACES : 5% OF TOTAL PARKING STALLS	4
LONG-TERM BICYCLE SPACE : 5% OF 20 STAFF PARKING STALLS	2
TOTAL BICYCLE SPACE PROVIDED:	6 (4 SHORT TERM + 2 LONG TERM)
TOTAL CAR STACK PROVIDED :	28 (20 FEET PER CAR)



5200 Buffington Road
 Atlanta, Georgia 30349-2998
 Phone: (404) 765-8000
 Fax: (404) 684-8550

**603 SAN FERNANDO ROAD,
 SAN FERNANDO, CA 91340**



1 VICINITY MAP
 NOT TO SCALE

DRAWING INDEX

G-000 TITLE SHEET
 SP-1 SITE PLAN
 L.1.0 PRELIMINARY LANDSCAPE PLAN
 A-110 FLOOR PLAN
 A-301 EXTERIOR ELEVATIONS
 A-302 EXTERIOR ELEVATIONS
 COLOR ELEVATIONS & RENDERINGS
 TRASH ENCLOSURE COLOR ELEVATIONS
 COLOR & MATERIAL BOARD

ATTACHMENT C

PROJECT DESCRIPTION

CONSTRUCTION OF A QUICK SERVE RESTAURANT WITH A DOUBLE-LANE DRIVE-THRU AND OUTDOOR DINING PATIO AREA.
 BUILDING AREA : 4,892 SQ.FT.
 OUTDOOR PATIO AREA : 220 SQ.FT.
 TOTAL PARKING COUNT : 74
 STACKING CAPACITY : 28 CARS

Architect:

C.R.H.O.
 1833 17TH STREET, SUITE 301
 SANTA ANA, CA. 92705
 PHONE: (714) 832-1834
 FAX: (714) 832-1910
 CONTACT: AMIN ATLASCHI
 E-MAIL: amin@CRHO.COM

Landscape Architect:

JOHN HOURIAN & ASSOCIATES
 414 OLIVE STREET #227
 SANTA BARBARA, CA 93101
 PHONE: (949) 489-5623 x 101
 FAX: (858) 810-0335
 CONTACT: NICOLE HOURIAN
 E-MAIL: nhourian@hourianassociates.com

Civil Engineer:

TRUXAW AND ASSOCIATES
 1915 W. ORANGEWOOD AVE.
 SUITE 101
 ORANGE, CA 92688
 PHONE: (714) 935-0265
 CONTACT: RANDY DECKER
 E-MAIL: randydecker@truxaw.com



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998



CRHO
 architects
 1833 E. 17th Street
 3rd Floor - Suite 301
 Santa Ana, CA 92705
 Phone: 714.832.1834

CHICK-FIL-A
 SAN FERNANDO ROAD & TRUMAN STREET FSU
 603 SAN FERNANDO RD.
 SAN FERNANDO, CA

STORE # **05816**

REVISION SCHEDULE

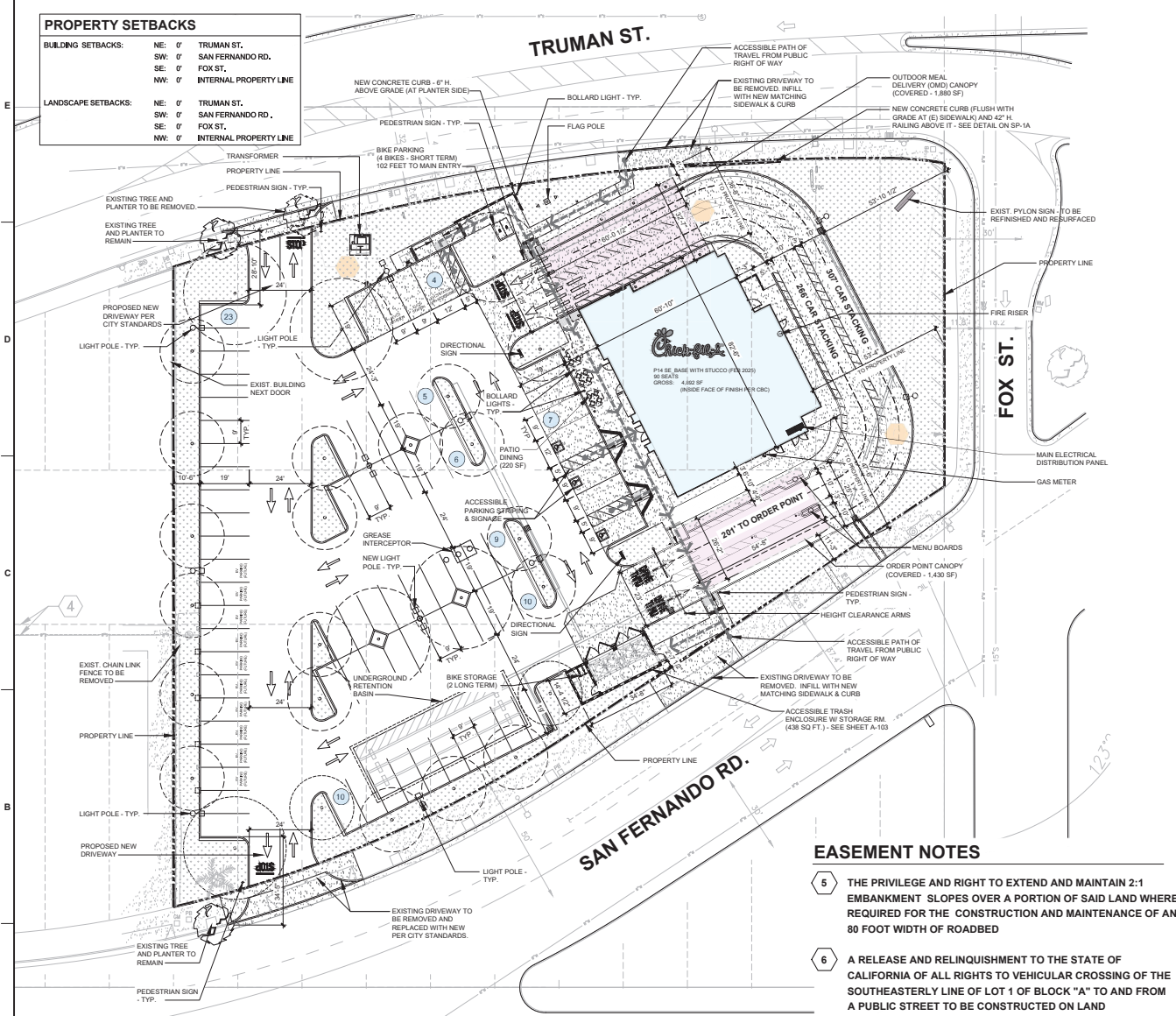
NO.	DATE	DESCRIPTION
05-31-24		CUP Submittal
11-08-24		CUP Resubmital (Updated)
01-08-25		CUP Resubmital
03-13-25		CUP Resubmital (Updated)
05-02-25		CUP Resubmital (Updated)

ARCHITECT'S PROJECT # 23-205
 PRINTED FOR CUP Resubmital (Updated)
 DATE 05-02-25
 DRAWN BY AA
 SHEET
 SHEET NUMBER

G-000

PROPERTY SETBACKS

BUILDING SETBACKS:	NE: 0'	TRUMAN ST.
	SW: 0'	SAN FERNANDO RD.
	SE: 0'	FOX ST.
	NW: 0'	INTERNAL PROPERTY LINE
LANDSCAPE SETBACKS:	NE: 0'	TRUMAN ST.
	SW: 0'	SAN FERNANDO RD.
	SE: 0'	FOX ST.
	NW: 0'	INTERNAL PROPERTY LINE



SITE STATISTICS

74 SPACES TOTAL
 PROPOSED PARCEL AREA: 62,554 S.F. (1.436 ACRES)
 CAR STACK LENGTH: 573 FT TOTAL (28 CARS)
 ORDER POINT: 201 FT INNER LANE (10TH CAR)

SITE PLAN

1" = 20'-0"



EASEMENT NOTES

- 5 THE PRIVILEGE AND RIGHT TO EXTEND AND MAINTAIN 2:1 EMBANKMENT SLOPES OVER A PORTION OF SAID LAND WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE OF AN 80 FOOT WIDTH OF ROADBED
- 6 A RELEASE AND RELINQUISHMENT TO THE STATE OF CALIFORNIA OF ALL RIGHTS TO VEHICULAR CROSSING OF THE SOUTHEASTERLY LINE OF LOT 1 OF BLOCK "A" TO AND FROM A PUBLIC STREET TO BE CONSTRUCTED ON LAND ABUTTING SAID LOT 1 ON THE SOUTHEAST

SITE & BUILDING INFORMATION

OCCUPANCY:	A2 (RESTAURANT)
FIRE SPRINKLER:	YES, FULLY SPRINKLED
CONSTRUCTION TYPE	V-B
SITE AREA:	62,554 SQ. FT. (1.436 ACRES)
BUILDING AREA:	4,892 SQ. FT.
CANOPY #1 (ORDER POINT):	1,430 SQ. FT.
CANOPY #2 (DRIVE-THROUGH):	1,814 SQ. FT.
TRASH ENCLOSURE (ROOFED):	438 SQ. FT.
TOTAL LOT COVERAGE - PROPOSED	8,640 SQ. FT. (13.8%)
TOTAL LOT COVERAGE - EXISTING	19,363 SQ. FT. (30.95%)
OUTDOOR PATIO AREA:	220 SQ. FT.
LANDSCAPE AREA:	15,537 SQ. FT. (24.8% COVERAGE)
PARKING SHADE AREA:	13,661 SQ. FT. (52% COVERAGE OF UNCOVERED PARKING AREA)
INTERNAL SEAT COUNT:	84 SEATS
FAR:	7.82 %
ZONING:	SP-5 (CORRIDORS SPECIFIC PLAN)
APN:	2522-034-016

PARKING CALCULATION

PARKING SPACES REQUIRED:	18 SPACES
BASIS:	3.3 SPACES/ 1000 SQ FT OF GROSS FLOOR AREA INCLUDING OUTDOOR PATIO
BUILDING AREA:	4,892 SQ FT/ 1000 = 4.89 X 3.3 = 16.14
OUTDOOR PATIO AREA:	220 SQ FT / 1000 = 0.22 X 3.3 = 0.73
	17 SPACES REQUIRED

PARKING SPACES PROVIDED:	74
STANDARD SPACES:	58
ACCESSIBLE SPACES:	3 (1 VAN ACCESSIBLE)
EVCS STATIONS:	3 (1 VAN ACCESSIBLE)
EV CAPABLE SPACES (FUTURE):	10

TOTAL SHORT-TERM BICYCLE SPACE REQUIRED - 5% OF TOTAL PARKING STALLS:	4 SPACES
TOTAL SHORT-TERM BICYCLE SPACES PROVIDED:	4 SPACES
TOTAL LONG-TERM BICYCLE SPACE REQUIRED - 5% OF 20 STAFF PARKING STALLS:	1 SPACE
TOTAL LONG-TERM BICYCLE SPACES PROVIDED:	2 SPACES
TOTAL CAR STACK SPACES REQUIRED:	NO REQUIREMENTS
TOTAL CAR STACK SPACES PROVIDED:	28

LEGEND

- PROPOSED LANDSCAPE AREA: [Pattern]
- NEW CONC. SIDEWALK [Pattern]
- PROPERTY LINE: [Line Style]
- PROPOSED CFA WORK LIMIT: [Line Style]
- PROPOSED CANOPY AREA [Pattern]
- NEW CONC. CURB: [Line Style]
- ACCESSIBLE PATH OF TRAVEL [Line Style]
- NUMBER OF PARKING SPACES: [Symbol]



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30349-2998

chc architects
 1833 E. 17th Street
 2nd Floor - Suite 301
 Santa Ana, CA 92705
 Phone 714.992.1004

CHICK-FIL-A
 SAN FERNANDO ROAD & TRUMAN STREET FSU
 603 SAN FERNANDO RD.
 SAN FERNANDO, CA

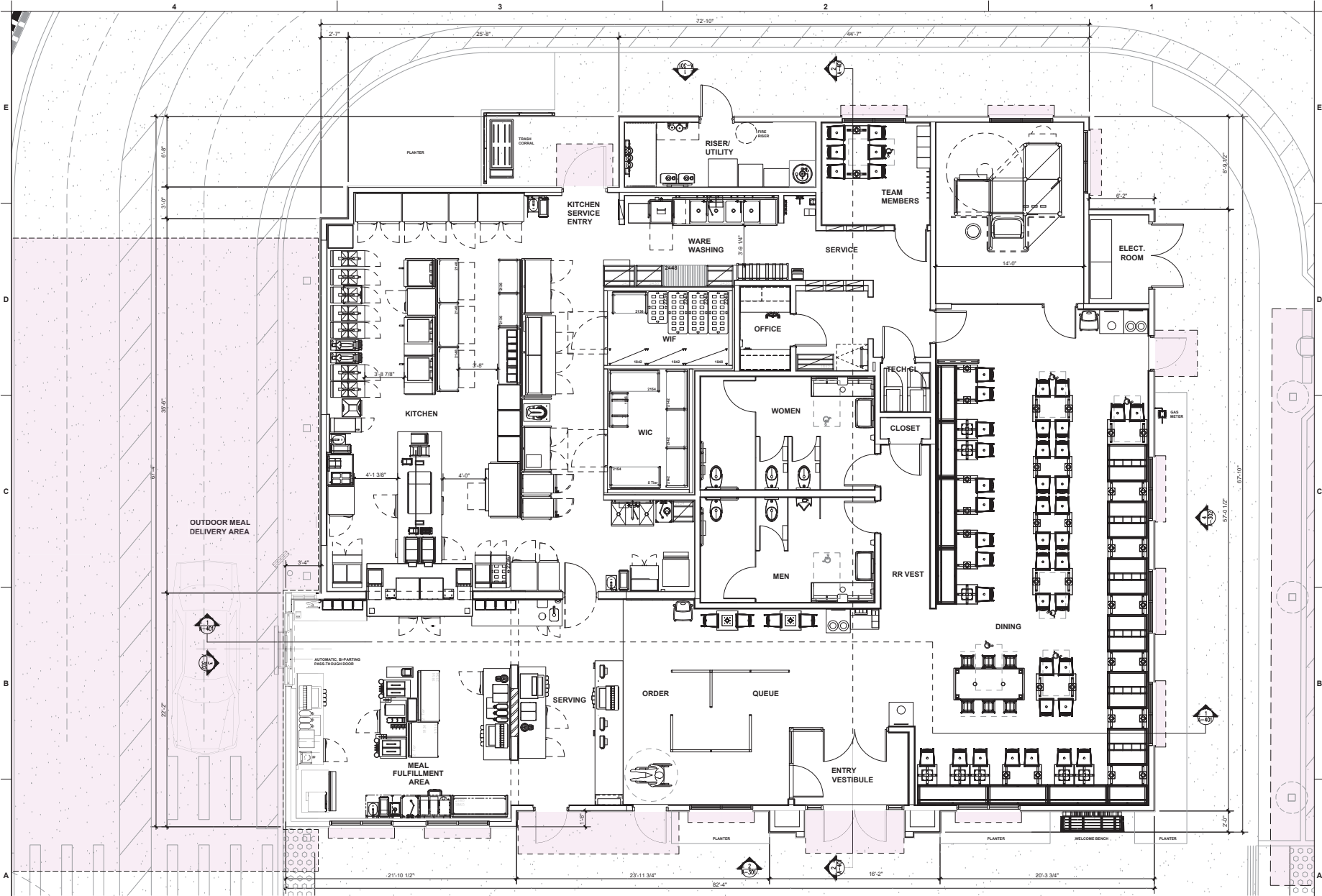
STORE # 05816

NO.	DATE	DESCRIPTION
05-31-24		CUP Submittal
10-08-24		CUP Resubmittal (Updated)
01-08-25		CUP Resubmittal
02-13-25		CUP Resubmittal (Updated)
05-02-25		CUP Resubmittal (Updated)

ARCHITECT'S PROJECT # 73-205
 PRINTED FOR CUP Resubmittal (Updated)
 DATE 05-02-25
 DRAWN BY AA

Information contained on this drawing and all signs hereon shall be void without proper approval or seal of the architect.
 SHEET SITE PLAN
 SHEET NUMBER

SP-1



FLOOR PLAN
1/4" = 1'-0"



FLOOR PLAN DATA

TOTAL SEATS :	90
PUBLIC AREA (ORDER, DINING, RESTROOMS) :	2,208 SQ FT
PRIVATE AREA (KITCHEN, STORAGE, UTILITY) :	2,684 SQ FT
TOTAL AREA :	4,892 SQ FT



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

rho
architects
1833 E. 17th Street - Suite 301
Santa Ana, CA 92705
Phone: 714.852.1884

CHICK-FIL-A

SAN FERNANDO ROAD & TRUMAN STREET FSU
603 SAN FERNANDO RD.
SAN FERNANDO, CA

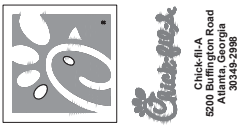
STORE # 05816

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
05-31-24	CUP Submittal	
10-08-24	CUP Resubmittal (Updated)	
01-09-25	CUP Resubmittal	
03-13-25	CUP Resubmittal (Updated)	
05-02-25	CUP Resubmittal (Updated)	

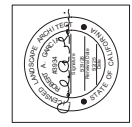
ARCHITECT'S PROJECT # 73-205
PRINTED FOR CUP Resubmittal (Updated)
DATE 05-02-25
DRAWN BY AA

Information contained on this drawing and in all signs hereon is intended for the project and shall not be reproduced in any manner without express written or verbal consent from rho architects.
SHEET PRELIMINARY FLOOR PLAN
SHEET NUMBER
CUP RESUBMITTAL
A-110



Chick-It-A
5200 Huntington Road
Alhambra, CA 91801
303.98.2998

TOWNSHIP ASSOCIATES, INC.
10000 WILSON AVENUE, SUITE 100
DOWNEY, CALIFORNIA 90244
TEL: 310.609.0001 FAX: 310.609.0009



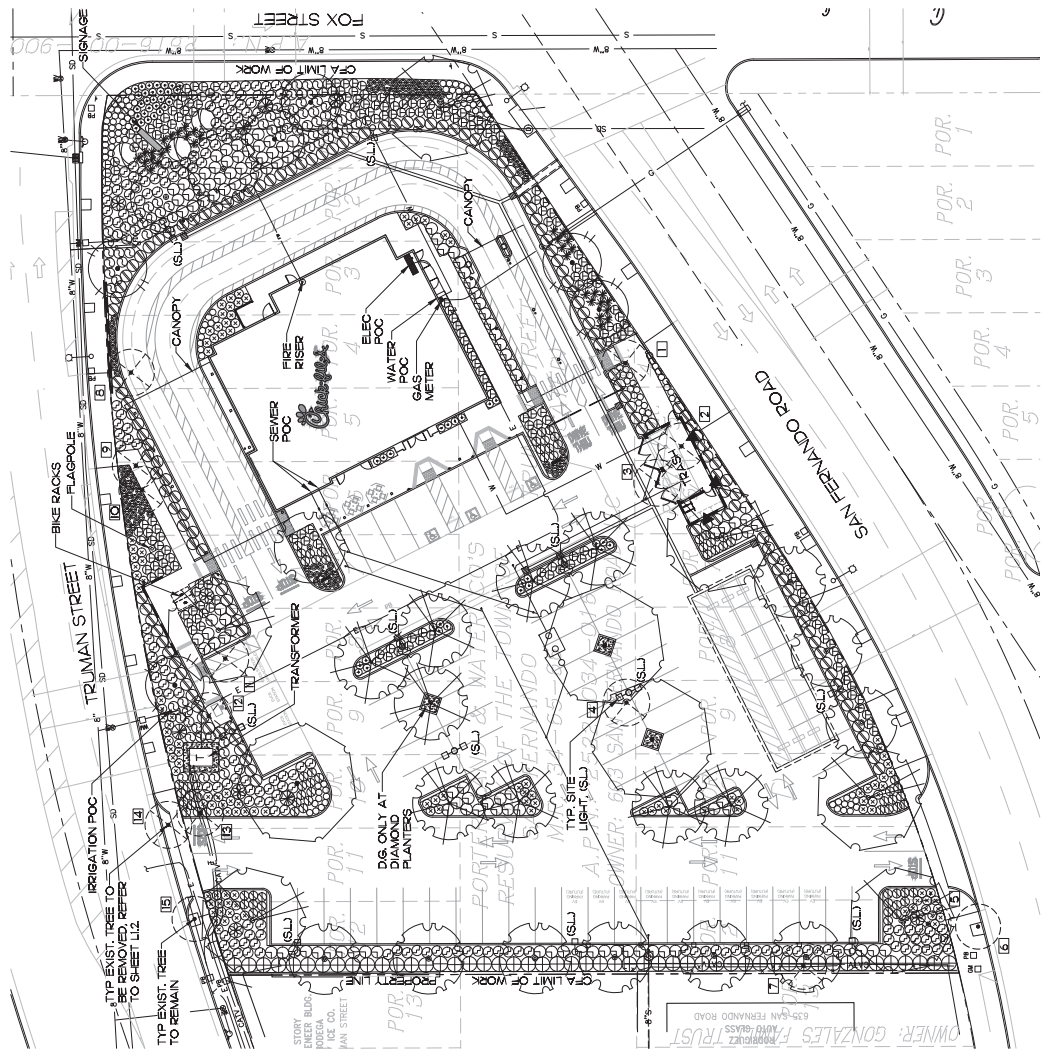
CHICK-FIL-A
603 SAN FERNANDO, CA
SAN FERNANDO ROAD & TRUMAN STREET PSU

STORE # 05816
REVISION SCHEDULE
NO. DATE DESCRIPTION

PROJECT NO. 10000
DATE 10/10/10
DRAWN BY J. GONZALEZ
CHECKED BY D. GONZALEZ
APPROVED BY D. GONZALEZ

PRELIMINARY LANDSCAPE PLAN
SHEET NUMBER

L1.0



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
(Symbol)	CERCIS OCCIDENTALIS	WESTERN REDBUD	24" BOX	6	MULTI-TRUNK
(Symbol)	GELERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	12	STANDARD
(Symbol)	PISTACIA RED FLASH	RED PISH PISTACHE	24" BOX	9	MULTI-TRUNK
(Symbol)	QUERCUS LEX	HOLLY OAK	24" BOX	6	STANDARD
(Symbol)	ULMUS PARVIFOLIA	CHINESE ELM	24" BOX	3	STANDARD

EXISTING TREE TO BE REMOVED - (13) TOTAL WITHIN LIMIT OF WORK PER NEW SITE LAYOUT

EXISTING TREE TO BE REMAIN - (2) TOTAL OUTSIDE LIMIT OF WORK (STREET TREE)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS
(Symbol)	AGAVE AMERICANA 'MEDIOPICTA ALBA'	VAREGATED CENTURY PLANT	5 GAL	6	AS SHOWN
(Symbol)	AGAVE MILKORNIANA	OCTOPUS AGAVE	5 GAL	4	AS SHOWN
(Symbol)	ALOË SAFARI ROSE	SAFARI ROSE ALOË	5 GAL	110	2'-0" O.C.
(Symbol)	ALOË SCARLET ROCKETTS	SUPER RED SUNBIRD ALOË	5 GAL	34	AS SHOWN
(Symbol)	DIANELLA 'COOL VISTA'	FLAX LILY HYBRID	5 GAL	56	2'-6" O.C.
(Symbol)	FRANGLIA CALIFORNICA	COFFEEBERRY	5 GAL	50	4'-0" O.C.
(Symbol)	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	75	3'-0" O.C.
(Symbol)	LEYMUS ARENARIUS 'BLUE DUNE'	WILD RTE	5 GAL	125	3'-0" O.C.
(Symbol)	LONANDRA 'PLATINUM BEAUTY'	HYBRID MAT RUSH	5 GAL	119	2'-0" O.C.
(Symbol)	MULLENBERGIA CAPILLARIS	PINK MULHY	5 GAL	170	3'-6" O.C.
(Symbol)	MULLENBERGIA LINDHEIMERI	NON	5 GAL	118	4'-0" O.C.
(Symbol)	OLEA EUROPAEA 'LITTLE OLLIE'	LITTLE OLIVE	5 GAL	147	4'-6" O.C.
(Symbol)	PARKINSONIA MICROPHYLLUM	LITTLE LEAF PALO VERDE	5 GAL	3	AS SHOWN
(Symbol)	PENSETIUM ORIENTALE	FOUNTAIN GRASS	5 GAL	211	2'-6" O.C.
(Symbol)	SALVIA GREGGII - PURPLE	AUTUMN SAGE	5 GAL	83	3'-0" O.C.
(Symbol)	CYTOSTOMA CALLISTEIOIDES	LAVENDER TRUMPET VINE	5 GAL	3	AS SHOWN

NOTE: PROVIDE A 3" LAYER OF ORGANIC SHREDDED MULCH IN ALL SHRUB PLANTING AREAS.

REFER TO SHEET L1.1 FOR PARKING LOT SHADE PLAN
REFER TO SHEET L1.2 FOR EXISTING TREE INFORMATION & SOILS REPORT
REFER TO SHEETS L2.0 & L2.1 FOR PRELIMINARY IRRIGATION PLAN, PRELIMINARY WATER CONSERVATION PLAN & PLANTING NOTES



PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20'-0"

LANDSCAPE CALCULATIONS

SHRUB AREA:	15,537 SF.
TURF AREA:	15,537 SF.
TOTAL LANDSCAPE AREA:	31,074 SF.

1 2 3 4

E D C B A



Chick-fil-A
 5200 Buffington Road
 Atlanta, Georgia
 30345-2988

chc architects
 183 E. 17th Street
 Suite 200
 Santa Ana, CA 92701
 Phone: 714.833.1818

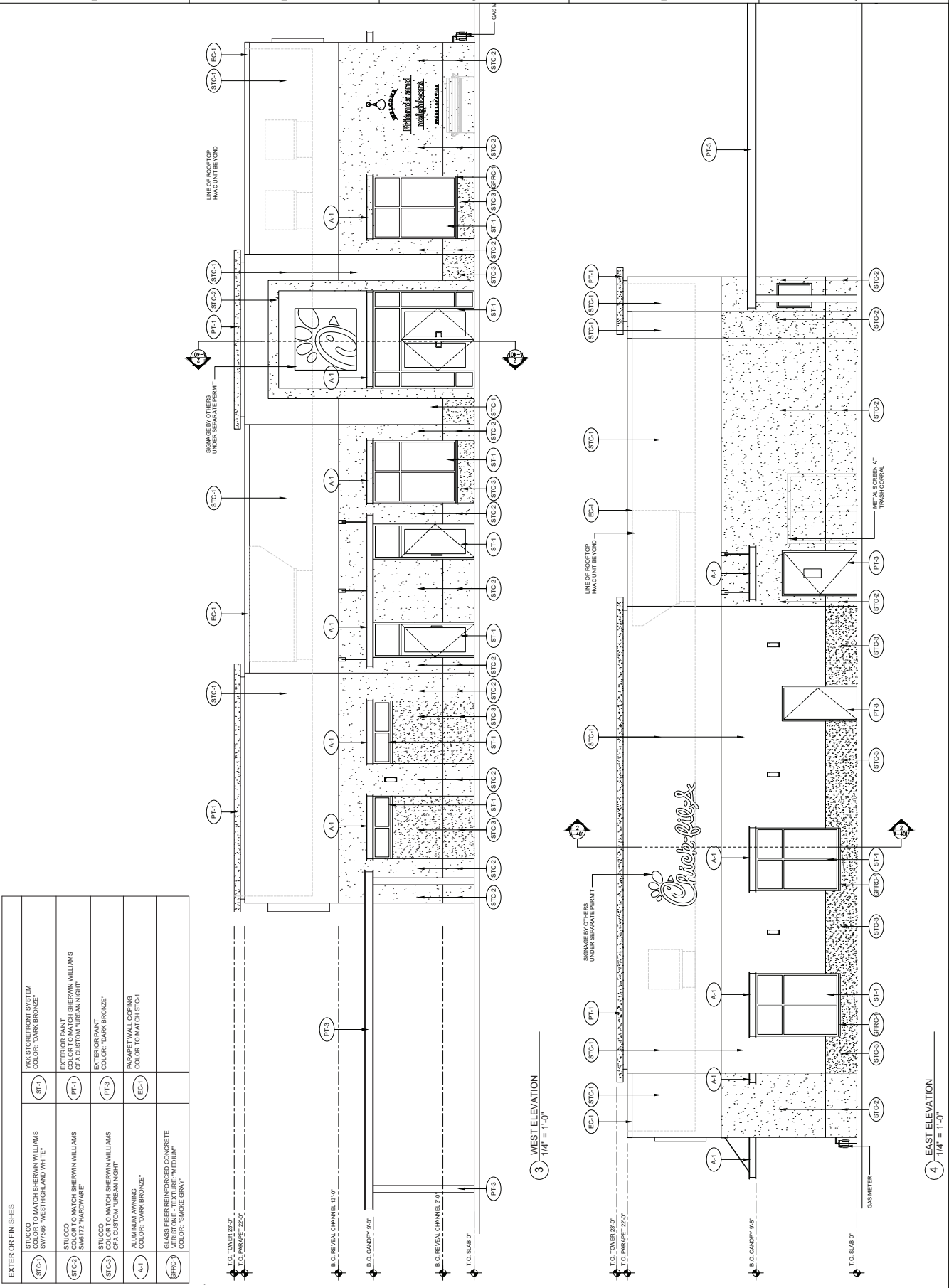
CHICK-FIL-A
 SAN FERNANDO ROAD & TRUMAN STREET FSU
 SAN FERNANDO, CA
 SAN FERNANDO, CA

STORE # 05816
 REVISION/DRAWING NO. DATE DESCRIPTION
 05-10-14 CJP-Sherwin
 05-10-14 CJP-Sherwin
 05-10-14 CJP-Resmittal
 05-13-12 CJP-Resmittal (Original)

DATE: 05-10-14
 DRAWN BY: CJP
 CHECKED BY: CJP
 PROJECT NO.: 05816
 PROJECT NAME: Chick-Fil-A (Store #05816)

SCALE: AS SHOWN
 SHEET NO.: 23 OF 28
 SHEET TITLE: EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS
 SHEET NUMBER
A-302



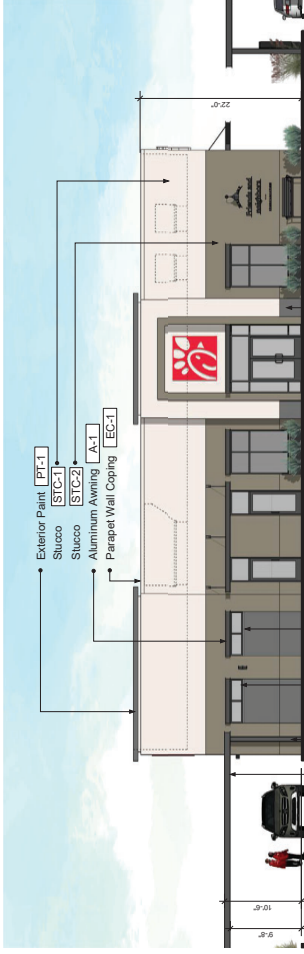
EXTERIOR FINISHES	
STC-1	YKK STOREFRONT SYSTEM COLOR: "DARK BRONZE"
STC-2	STUCCO TO MATCH SHERWIN WILLIAMS COLOR: "WESTHIGHLAND WHITE"
STC-3	STUCCO TO MATCH SHERWIN WILLIAMS COLOR TO MATCH SHERWIN WILLIAMS CFA CUSTOM "URBANNIGHT"
PT-1	EXTERIOR PAINT COLOR TO MATCH SHERWIN WILLIAMS CFA CUSTOM "URBANNIGHT"
PT-3	EXTERIOR PAINT COLOR: "DARK BRONZE"
EC-1	PARAPET WALL COPING COLOR TO MATCH STC-1
A-1	MURKIN WALLS COLOR: "DARK BRONZE"
EFRC-2	GLASS FIBER REINFORCED CONCRETE TEXTURE: "MEDIUM" COLOR: "SMOKE GRAY"

4 WEST ELEVATION
 1/4" = 1'-0"

4 EAST ELEVATION
 1/4" = 1'-0"



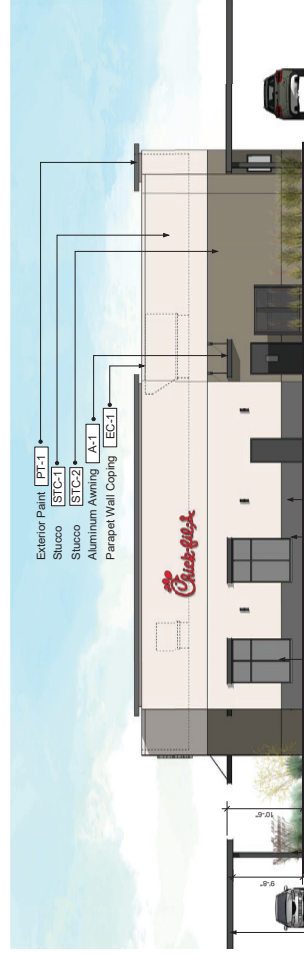
SOUTH ELEVATION



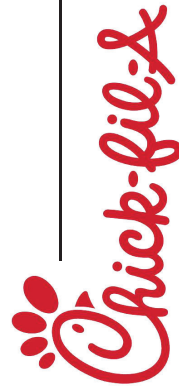
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

SCALE: 1/8" = 1'-0"



Note:
All exterior mechanical equipment shall be located in
equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	08-14-24	08-21-24
09-04-24	09-11-24	09-18-24
12-16-24	12-23-24	12-30-24
01-22-25	01-29-25	02-05-25
02-07-25	02-14-25	02-21-25
04-15-25	04-22-25	04-29-25
04-30-25	05-01-25	

COLOR AND MATERIAL LEGEND

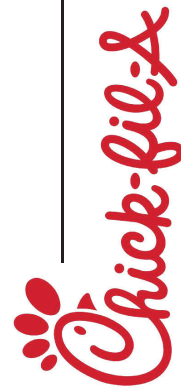
[STC-1]	Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
[STC-2]	Stucco - Paint Sherwin Williams #SW6172 "Hardware"
[STC-3]	Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
[EC-1]	Parapet Wall Coping - Color to Match STC-1
[A-1]	Aluminum Awning - Color: "Dark Bronze"
[ST-1]	YKK Storefront System - Color: "Dark Bronze"
[PT-1]	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
[PT-3]	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
[GFRC-1]	Glass Fiber Reinforced Concrete - Color: "Smoke Gray"



833 E. 17th Street
San Fernando, CA 91705
Phone 714.822.1834



MAIN ENTRY VIEW



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

Note:

All exterior mechanical equipment shall be located in equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	10-09-24	11-23-24
12-16-24	12-23-24	01-03-25
01-22-25	01-27-25	01-28-25
02-07-25	02-10-25	04-14-25
04-15-25	04-22-25	04-23-25
04-30-25	05-01-25	

COLOR AND MATERIAL LEGEND

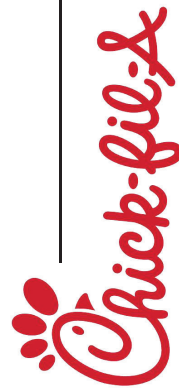
STC-1	Succo - Paint Sherwin Williams #SW7566 "Westhighland White"
STC-2	Succo - Paint Sherwin Williams #SW6172 "Hardware"
STC-3	Succo - Paint Sherwin Williams CFA Custom "Urban Night"
EC-1	Parapet Wall Coping - Color to Match STC-1
A-1	Aluminum Awning - Color: "Dark Bronze"
ST-1	YKK Storefront System - Color: "Dark Bronze"
PT-1	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
PT-3	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
GFRC-1	Glass Fiber Reinforced Concrete - Color: "Smoke Gray"



833 E. 17th Street
San Fernando, CA 91705
Phone 714.822.1834



MAIN ENTRY AND DRIVE-THRU



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

Note:

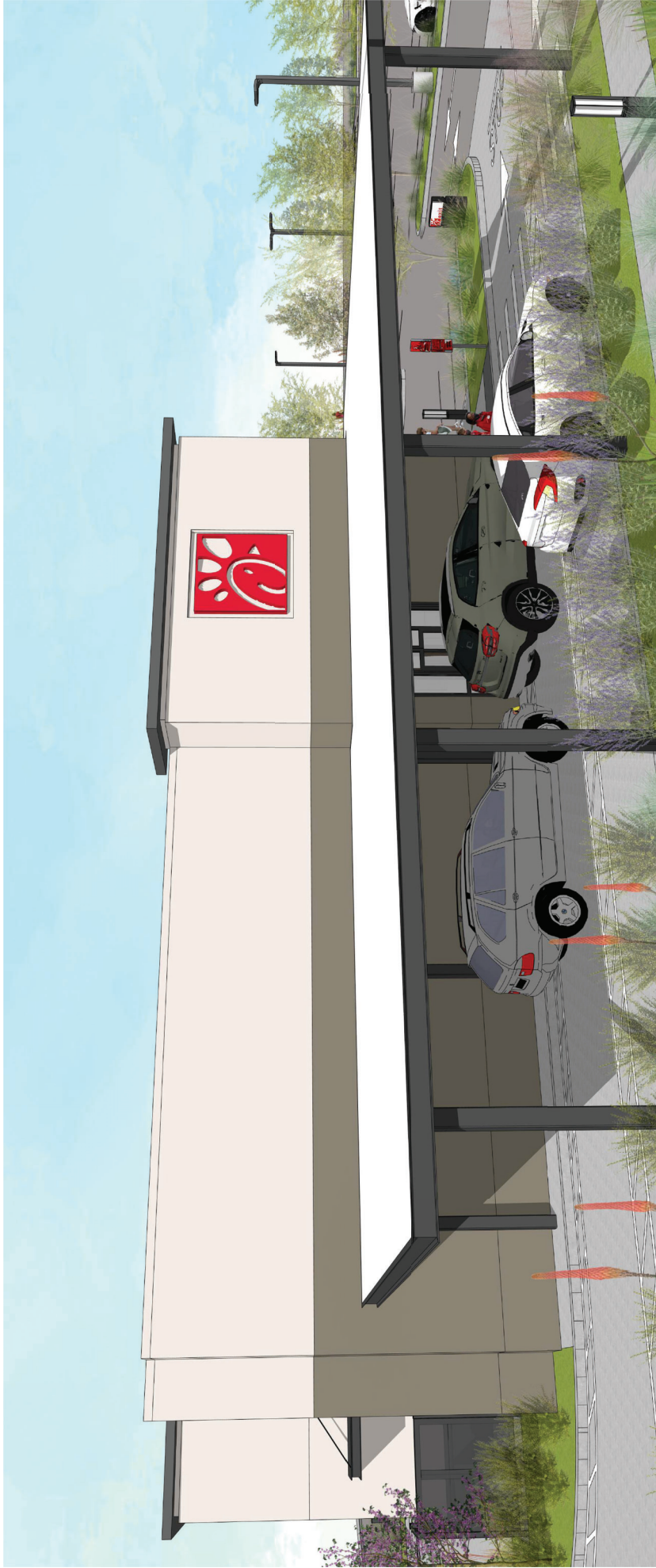
All non-mechanical equipment shall be located in equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	10-09-24	11-23-24
12-16-24	12-23-24	01-03-25
01-22-25	01-27-25	01-28-25
02-07-25	02-10-25	04-14-25
04-15-25	04-22-25	04-23-25
04-30-25	05-01-25	

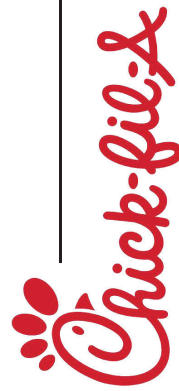
COLOR AND MATERIAL LEGEND

[STC-1]	Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
[STC-2]	Stucco - Paint Sherwin Williams #SW6172 "Hardware"
[STC-3]	Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
[EC-1]	Parapet Wall Coping - Color to Match STC-1
[A-1]	Aluminum Awning - Color: "Dark Bronze"
[ST-1]	YKK Storefront System - Color: "Dark Bronze"
[PT-1]	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
[PT-3]	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
[GFRCC-1]	Class Fiber Reinforced Concrete - Color: "Smoke Gray"





DRIVE-THRU VIEW



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

Note:
All exterior mechanical equipment shall be located in equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	10-03-24	10-23-24
12-16-24	12-23-24	01-03-25
01-22-25	01-27-25	01-28-25
02-07-25	02-10-25	04-14-25
04-15-25	04-22-25	04-23-25
04-30-25	05-01-25	

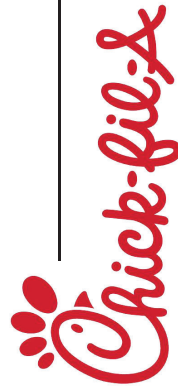
COLOR AND MATERIAL LEGEND

[STC-1]	Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
[STC-2]	Stucco - Paint Sherwin Williams #SW6172 "Hardware"
[STC-3]	Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
[EC-1]	Parapet Wall Coping - Color to Match STC-1
[A-1]	Aluminum Awning - Color: "Dark Bronze"
[ST-1]	YKK Storefront System - Color: "Dark Bronze"
[PT-1]	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
[PT-3]	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
[GFRCC-1]	Class Fiber Reinforced Concrete - Color: "Smoke Gray"

crho
architects
833 E. 17th Street
San Fernando, CA 91705
Phone 714.822.1834



VIEW FROM STREET CORNER - SAN FERNANDO RD. AND FOX ST.



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
 CFA STORE#05816

Note:
 All exterior mechanical equipment shall be located in
 equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	10-09-24	10-23-24
12-16-24	12-23-24	01-03-25
01-22-25	01-27-25	01-28-25
02-07-25	02-10-25	04-14-25
04-15-25	04-22-25	04-23-25
04-30-25	05-01-25	

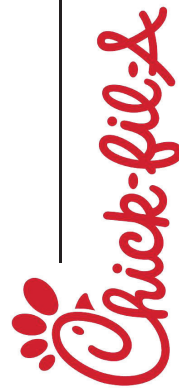
COLOR AND MATERIAL LEGEND

[STC-1]	Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
[STC-2]	Stucco - Paint Sherwin Williams #SW6172 "Hardware"
[STC-3]	Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
[EC-1]	Parapet Wall Coping - Color to Match STC-1
[A-1]	Aluminum Awning - Color: "Dark Bronze"
[ST-1]	YKK Storefront System - Color: "Dark Bronze"
[PT-1]	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
[PT-3]	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
[GFRCC-1]	Class Fiber Reinforced Concrete - Color: "Smoke Gray"





VIEW FROM STREET CORNER - TRUMAN ST. AND FOX ST.



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
 CFA STORE#05816

Note:
 All exterior mechanical equipment shall be located in
 equipment well and screened from view by parapet walls.

04-29-24	05-07-24
05-14-24	05-21-24
05-28-24	06-04-24
06-11-24	06-18-24
06-25-24	07-02-24
07-09-24	07-16-24
07-23-24	07-30-24
08-06-24	08-13-24
08-20-24	08-27-24
09-03-24	09-10-24
09-17-24	09-24-24
10-08-24	10-15-24
10-22-24	10-29-24
11-05-24	11-12-24
11-19-24	11-26-24
12-03-24	12-10-24
12-17-24	12-24-24
01-07-25	01-14-25
01-21-25	01-28-25
02-04-25	02-11-25
02-18-25	02-25-25
03-04-25	03-11-25
03-18-25	03-25-25
04-01-25	04-08-25
04-15-25	04-22-25
04-29-25	05-06-25

COLOR AND MATERIAL LEGEND

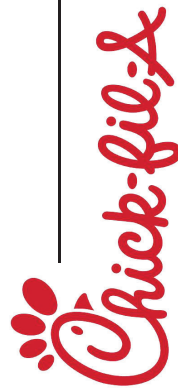
[STC-1]	Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
[STC-2]	Stucco - Paint Sherwin Williams #SW6172 "Hardware"
[STC-3]	Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
[EC-1]	Parapet Wall Coping - Color to Match STC-1
[A-1]	Aluminum Awning - Color: "Dark Bronze"
[ST-1]	YKK Storefront System - Color: "Dark Bronze"
[PT-1]	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
[PT-3]	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
[GFRCC-1]	Class Fiber Reinforced Concrete - Color: "Smoke Gray"



833 E. 17th Street
 San Fernando, CA 91705
 Phone 714.822.1834



BIRD'S EYE VIEW - TRUMAN ST.



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
 CFA STORE#05816

Note:
 All exterior mechanical equipment shall be located in equipment well and screened from view by parapet walls.

- 04-29-24 05-07-24
- 05-14-24 05-28-24
- 06-07-24 08-21-24
- 08-07-24 10-21-24
- 12-16-24 12-23-24
- 01-22-25 01-27-25
- 02-07-25 02-10-25
- 04-15-25 04-22-25
- 04-30-25 05-01-25

COLOR AND MATERIAL LEGEND

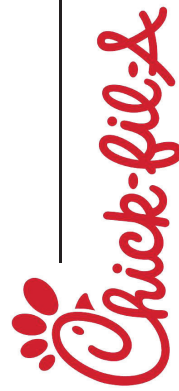
- [STC-1] Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
- [STC-2] Stucco - Paint Sherwin Williams #SW6172 "Hardware"
- [STC-3] Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
- [EC-1] Parapet Wall Coping - Color to Match STC-1
- [A-1] Aluminum Awning - Color: "Dark Bronze"
- [ST-1] YKK Storefront System - Color: "Dark Bronze"
- [PT-1] Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
- [PT-3] Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
- [GFR-1] Glass Fiber Reinforced Concrete - Color: "Smoke Gray"



833 E. 17th Street
 San Fernando, CA 91705
 Phone 714.822.1834



OVERALL VIEW - TRUMAN ST. AND FOX ST.



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

Note:
All exterior mechanical equipment shall be located in equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	08-14-24	08-21-24
12-16-24	12-23-24	01-03-25
01-22-25	01-29-25	01-28-25
02-07-25	02-10-25	04-14-25
04-15-25	04-22-25	04-23-25
04-30-25	05-01-25	

COLOR AND MATERIAL LEGEND

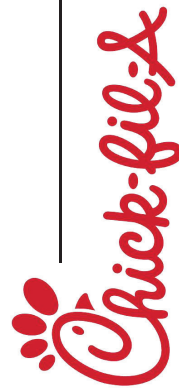
[STC-1]	Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
[STC-2]	Stucco - Paint Sherwin Williams #SW6172 "Hardware"
[STC-3]	Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
[EC-1]	Parapet Wall Coping - Color to Match STC-1
[A-1]	Aluminum Awning - Color: "Dark Bronze"
[ST-1]	YKK Storefront System - Color: "Dark Bronze"
[PT-1]	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
[PT-3]	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
[GFRC-1]	Glass Fiber Reinforced Concrete - Color: "Smoke Gray"



333 E. 17th Street
San Fernando, CA 91705
Phone 714.822.1834



OVERALL VIEW - SAN FERNANDO RD.



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

Note:
All exterior mechanical equipment shall be located in equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	10-09-24	11-23-24
12-16-24	12-23-24	01-03-25
01-22-25	01-27-25	01-28-25
02-07-25	02-10-25	04-14-25
04-15-25	04-22-25	04-23-25
04-30-25	05-01-25	

COLOR AND MATERIAL LEGEND

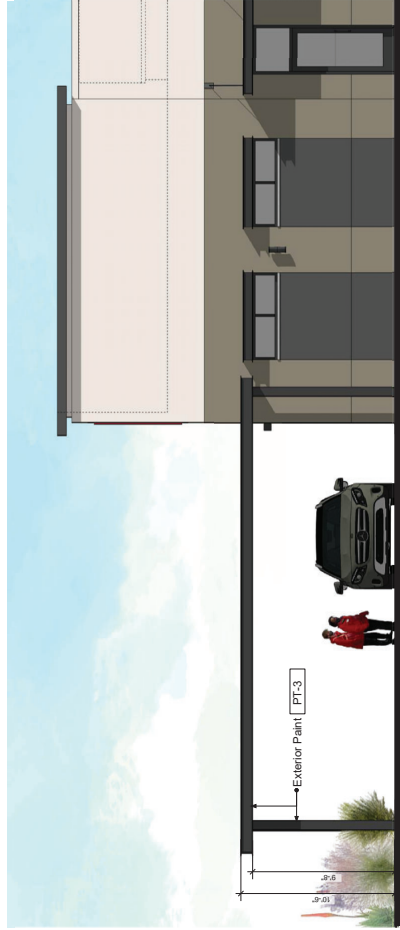
[STC-1]	Succo - Paint Sherwin Williams #SW7566 "Westhighland White"
[STC-2]	Succo - Paint Sherwin Williams #SW6172 "Hardware"
[STC-3]	Succo - Paint Sherwin Williams CFA Custom "Urban Night"
[EC-1]	Parapet Wall Coping - Color to Match STC-1
[A-1]	Aluminum Awning - Color: "Dark Bronze"
[ST-1]	YKK Storefront System - Color: "Dark Bronze"
[PT-1]	Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
[PT-3]	Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
[GFRCC-1]	Class Fiber Reinforced Concrete - Color: "Smoke Gray"



833 E. 17th Street
San Fernando, CA 91705
Phone 714.822.1834



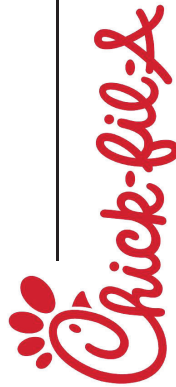
DRIVE-THRU CANOPY EAST ELEVATION



DRIVE-THRU CANOPY WEST ELEVATION



DRIVE-THRU CANOPY NORTH ELEVATION



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

ANDMT 05.01.16



N/ M 8 B C" E D' T 8-DIMMTO TC"

- [STC-1] Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
- [STC-2] Stucco - Paint Sherwin Williams #SW6172 "Hardware"
- [STC-3] Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
- [EC-1] Parapet Wall Coping - Color to Match STC-1
- [A-1] Aluminum Awning - Color: "Dark Bronze"
- [ST-1] YKK Storefront System - Color: "Dark Bronze"
- [PT-1] Exterior Paint - Sherwin Williams CFA Custom "Urban Night"
- [PT-3] Exterior Paint - Sherwin Williams - Color: "Dark Bronze"
- [GFR-1] Glass Fiber Reinforced Concrete - Color: "Smoke Gray"

COR
All exterior mechanical equipment shall be located in
equipment well and screened from view by parapet walls.

- 04-29-24 05-07-24
- 05-14-24 05-28-24
- 08-07-24 08-21-24
- 08-07-24 08-21-24
- 10-09-24 10-23-24
- 12-16-24 12-23-24
- 01-22-25 01-28-25
- 02-07-25 02-10-25
- 04-15-25 04-22-25
- 04-30-25 05-01-25



3833 E. 17th Street
San Fernando, CA 91705
Phone 714.822.1834



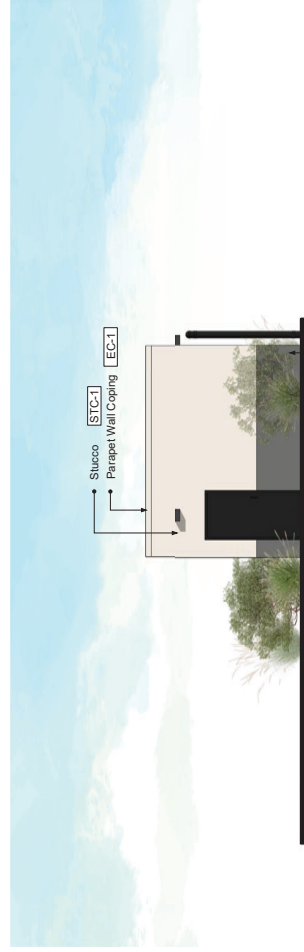
NORTH ELEVATION



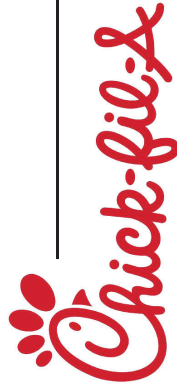
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE#05816

SCALE: 1/4" = 1'-0"



Note:
All exterior mechanical equipment shall be located in equipment well and screened from view by parapet walls.

04-29-24	05-07-24	05-08-24
05-14-24	05-21-24	05-28-24
06-04-24	06-11-24	06-18-24
08-07-24	10-09-24	10-23-24
12-16-24	12-23-24	01-03-25
01-22-25	01-27-25	01-28-25
02-07-25	02-10-25	04-14-25
04-15-25	04-22-25	04-23-25
04-30-25	05-01-25	

COLOR AND MATERIAL LEGEND

- STC-1 Stucco - Paint Sherwin Williams #SW7566 "Westhighland White"
- STC-3 Stucco - Paint Sherwin Williams CFA Custom "Urban Night"
- EC-1 Parapet Wall Coping - Color to Match STC-1
- PT-3 Exterior Paint - Color: "Dark Bronze"





STC-1 Stucco

Color: Sherwin Williams
SW7566 "WESTHIGHLAND WHITE"

EC-1 PARAPET WALL COPING

Color to Match STC-1



A-1 ALUMINUM CANOPY

Color: Dark Bronze

ST-1 ALUMINUM STOREFRONT

Color: Dark Bronze

PT-3 EXTERIOR PAINT

Color: Dark Bronze



STC-2 Stucco

Color: Sherwin Williams
SW6172 "HARDWARE"



GFRC-1 Glass Fiber Reinforced Concrete

Veristone
Color: "Smoke Gray"
Texture: "Medium"



STC-3 Stucco

Color: Sherwin Williams
CFA Custom "URBAN NIGHT"

PT-1 EXTERIOR PAINT

Color to Match STC-3



SAN FERNANDO ROAD & TRUMAN STREET, SAN FERNANDO, CA
CFA STORE #05816

BUILDING COLORS & MATERIALS



*This Page
Intentionally
Left Blank*

*This Page
Intentionally
Left Blank*



AGENDA REPORT

To: Planning and Preservation Commission Chair Solario and Commissioners

From: Ron Garcia Director of Community Development

Date: April 13, 2026

Subject: Proposed Zoning Code Update, Subdivision Code Update, Specific Plan-5 Update, Objective Design Standards, Zoning Map Update, General Plan Land Use Element Amendment (Housing Implementation Plan Project or HIP Project).

RECOMMENDATION:

It is recommended that the Planning and Preservation Commission:

- a. Conduct a Public Hearing; and
- b.
- c. Pending Public Testimony, adopt Planning and Preservation Commission Resolution No. 2026-003 recommending the City Council adopt the Draft Zoning Code Update, Subdivision Code Update, Specific Plan-5 Update, Objective Design Standards, Zoning Map Update, and General Plan Land Use Element Amendment.

BACKGROUND:

1. On June 6, 2022, the City Council adopted the City's 6th Cycle 2021-2029 Housing Element, Safety Element Update, and Mitigated Negative Declaration.
2. On October 21, 2024, the City Council accepted the Regional Early Action Planning (REAP) 2.0 funding and entered into a Memorandum of Understanding (MOU) with Southern California Association of Governments (SCAG) (Contract No. 2306) to implement the REAP 2.0 Grant Program and help carry out key programs from the City's 6th Cycle Housing Element. The programs include the evaluation of adaptive re-use opportunities to support housing, streamlining the review process for new housing, and compliance with State housing laws.
3. On March 3, 2025, the City Council approved Contract No. 2343 with Rincon Consultants to implement the REAP 2.0 Grant Program, which includes updating the zoning code to comply with State laws, conduct a historic resource survey, and create State mandated clear objective design standards to maintain neighborhood character while streamlining development.
4. On May 5, 2025, the City Council approved a Community Outreach and Engagement Plan for the REAP 2.0 Grant Program to ensure that the diverse voices and priorities of San Fernando

shape the development of critical planning documents that will guide housing production, preserve neighborhood character, and streamline city processes.

5. On August 12, 2025, the Planning and Preservation Commission received a presentation on the Housing Element Implementation Program and provided feedback.
6. On September 15, 2025, the City Council received a presentation on the Housing Element Implementation Program and provided feedback.
7. On February 9, 2026 the Planning and Preservation Commission received a presentation on the Housing Element Implementation Program draft documents and provided feedback.
8. On February 17, 2026 the City Council received a presentation on the Housing Element Implementation Program draft documents and provided feedback.
9. At the April 13, 2026, the Planning and Preservation Commission held a public hearing to review final draft HIP Program documents for City Council adoption and approval.

ANALYSIS:

The Housing Element Implementation Program advances key commitments outlined in the City's 2021–2029 (6th Cycle) Housing Element to support housing production, preservation, and equity. The program includes:

- Development of a Community Stabilization Manual to prevent displacement, maintain affordable housing, and affirmatively further fair housing;
- An update to the City's 2002 Historic Survey to identify eligible historic resources and promote adaptive reuse and neighborhood preservation;
- Revisions to the Density Bonus Ordinance to ensure compliance with State housing law and incentivize affordable housing development;
- Updates to the Zoning Code and San Fernando Corridors Specific Plan (SP-5) to expand housing opportunities, increase infill capacity, and streamline project review; and
- Improvements to the City's housing development review process to remove barriers and facilitate timely housing delivery.

In August and September 2025, the Housing Implementation Program and Objective Design Standards were presented to the Planning and Preservation Commission and the City Council for preliminary feedback. During these meetings, both bodies expressed a preference to adhere only to the minimum requirements mandated by State law, including not offering density bonuses beyond those required by statute. They also emphasized the importance of increasing open space without increasing residential density, improving transparency and simplicity within the planning process, and supporting a broader range of neighborhood-serving commercial uses and family-friendly entertainment opportunities. Revisions to the documents have been completed

in accordance with State law. Below is a description of the Zoning Code Updates, Specific Plan Updates and the proposed Objective Design Standards document.

Objective Design Standards

The development of the Objective Design Standards (ODS) has been a nearly 6 month-long process working with internal departments, the consultant, and with the guidance from the Planning and Preservation Commission and City Council. To elevate the quality of the document, Staff and the consultant team have extensively researched State laws, the City's Municipal Code, and the City's existing documents that pertain to design standards for residential and mixed-use development such as the Specific Plan 5. Staff worked with the consultant to establish design standards for new city-wide Residential and Mixed-Use Objective Design Standards with the intent of achieving and maintaining high-quality site planning and building design.

The city-wide Residential and Mixed-Use Objective Design Standards establish design standards for each type of residential development to promote neighborhood character while streamlining the development process as required by State law. Objective standards are established for site design (standards for building orientation, site access, and increased pedestrian comfort and safety), building design (scale mediation, massing, and standards for transitions to lower scale development), landscaping (established appearances, buffering of residential units, creation of character and identity with landscape design, promotion of sustainability goals) and architectural styles. The architecture styles include Spanish Colonial Revival, Ranch, Craftsman, Contemporary, Tudor Revival, and Mission Revival.

Zoning Code Update

The Zoning Code is a Section of the Municipal Code that regulates and governs how land may be used and developed, and establishes standards such as allowable land uses, building heights, setbacks, parking standards and site development requirements. The Density Bonus Ordinance is a section within the Zoning Code that implements State density bonus law by allowing qualifying housing projects to exceed certain standard zoning limits such as density, height, or parking in exchange for affordable units. The over 100 Zoning Code amendments modernize local standards, improve clarity, and ensure consistency with State housing and land-use requirements.

- *Residential:* Regulations have been updated to align with State law. Examples of this includes updates to Accessory Dwelling Units (ADUs) to be consistent with Assembly Bill (AB) 130, SB 543, AB 462, and AB 1154, as well as removing Large Family Day Care facilities to be consistent with SB 234.
- *Commercial:* Uses have been simplified by consolidating the definitions for personal service and retail categories to better reflect current land-use terminology. As required by State law, emergency shelters are now permitted in the C-2 zone and within SP-5, as required by the housing element and State law. Multi-family is permitted by right in all commercial zones when developed under SB 6 or AB 2011. Additionally, fitness facilities and commercial recreation facilities under 2,500 square feet and second-hand stores are now permitted by right.

- *Open Space:* Areas such as parks, picnic areas and playgrounds were added as conditionally permitted uses in all residential zones and in the Service Commercial zone.
- *Density Bonus:* This Ordinance was revised and reorganized to be consistent with State Density Bonus Law. To comply with the Housing Element, a density bonus was added for housing developments that include a certain percentage of units with three or more bedrooms.
- *Parking:* Standards have been expanded to include off-street parking standards for funeral homes, government offices, and social clubs. Dining parking requirements are now based on customer-accessible floor area and smaller fitness facilities and restaurants under 2,500 square feet have the same required parking as retail (one space for each 300 square feet of gross floor area). Updates also address residential parking dimensions, compact and ADA stall specifications, and new loading requirements.
- *New Mixed-Use Zone:* Regulations and standards remain the same but have been reorganized through the removal of the Mixed-Use Overlay and the creation of two new zones, CMU-1 and CMU-2, consistent with previous C-1 and C-2 designations. This update was made to protect the city from litigation, “Builder’s Remedy,” and prevent invalidation of the Housing Element, as some cities in California have faced lawsuits by relying on Housing Overlays. The General Plan Land Use Element must also be amended to reference the two new zones.
- *Zone Map Update:* The Zone Map will be updated to indicate areas that will have the new Mixed Use Zoning.
- *Administrative:* Procedures have been clarified and streamlined, including site plan review processing, SB 35 processing, discretionary review for projects opting out of the Objective Design Standards, and revisions to CUP-approved plans. Regulations for nonconforming structures have been clarified. The process for reviewing projects within the Precise Development (PD) Overlay was updated to require a Site Plan Review Permit rather than a Certificate of Use which is a permit that is no longer used by the City.

General Plan- Land Use Element Update

To ensure consistency with the Zoning Code and Housing Element, the Land Use Element was updated to include the CMU-1 and CMU-2 as implementing zones for the Neighborhood Shopping and Central Business District Land Use Designations listed in Chart IV-1 City of San Fernando Current Land Use Designations and Implementing Zones table. The intent of the Land Use Designation was also amended to include “housing on specific sites identified in the Housing Element”.

Subdivision Code Update

The Subdivision Code was amended to incorporate provisions related to street dedication improvements and common area and off-site improvement bonds that were previously contained in the Zoning Code. These provisions were relocated to the Subdivision Code because they more appropriately pertain to subdivision regulations rather than zoning requirements.

Specific Plan Update

A Specific Plan is a detailed planning document that implements the general plan for a defined geographic area, establishing tailored land use regulations, development standards, infrastructure requirements, and design guidelines to guide coordinated, area specific development. The San Fernando Corridors Specific Plan- 5 plan area covers Maclay Avenue, the Downtown area, 1st Street, San Fernando Road, and Truman Street.

Parallel updates were made to SP-5 to ensure consistency with the Zoning Code, expand opportunities for residential development, and integrate Housing Element requirements. Revisions include allowing apartments and condominiums in additional districts, adopting State-required parking exemptions, and updating noise and design requirements. Additionally, as recommended by commission and council, personal service, entertainment, and retail land uses that are permitted by right in the Downtown District were updated to be permitted by right in the Maclay district. Updates also include revisions to subjective design standards to be objective or to instead refer to the Objective Design Standards document.

Electric Vehicle Charging and Hydrogen Vehicle fueling Stations

To Ensure compliance with State Law the Zoning Code Update includes Electric vehicle charging and Hydrogen vehicle fueling station streamline permitting standards and requirements. The purpose is to establish an expedited, streamlined permitting process for electric vehicle charging stations and hydrogen-fueling stations that complies with AB 1236 and AB 970, codified in Government Code Sections 65850.7 and 65850.71. This legislation promotes and encourages the use of zero emissions vehicles by facilitating the convenient charging or refueling of zero emission vehicles.

Outreach

The team has hosted seven pop-up events at various City facilities including Las Palmas Senior Citizen Club, Recreation Park and Lopez Adobe/Summer Concerts on June 1, 2025, June 14, 2025, July 18, 2025, August 23, 2025, August 30, 2025, February 11, 2026, and February 21, 2026, to share project updates with the community and gather input. Three of these events featured an interactive activity where participants provided feedback on five key topics: zoning, historic preservation, design, neighborhood character, and community engagement. The other two pop-up events focused on promoting the community survey, which includes questions related to design, development, open space, and land use. In December the team held a Community Workshop in which residents participated in a game of Lotería where each card represented a planning topic and informed the residents about the topic and prompted questions for feedback. To date, 15-20 people participated at each of the seven pop-up events and 102 people completed the survey.

Planning and Preservation Commission Study Session On February 9th, 2026, the Planning and Preservation Commission reviewed the draft Zoning Code Update, Specific Plan-5 Update, and Objective Design Standards. Key feedback centered on the proposed zoning and policy updates. Additional Commissioner comments consisted of clarification on the concept of modernizing commercial spaces, proposed reduced parking requirements for gyms and small

restaurants, as well as proposed density bonus provisions, and applicability of SB 79 to San Fernando.

City Council Study Session On February 17th, 2026, the City Council reviewed the draft Zoning Code Update, Specific Plan-5 Update, and Objective Design Standards. Council members had questions regarding how the city will be affected by SB 79, as well as questions regarding the proposed amendments to parking standards.

Historic Resource Survey

Buildings throughout the city were evaluated to update the City 2002 Historic Survey to include eligible historic resources. The newly identified historical resources were documented in a survey report that will be provided at a future date.

CALIFORNIA ENVIRONMENTAL QUALITY ACT REVIEW:

Pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15164, an addendum may be prepared for a previously adopted Mitigated Negative Declaration (MND) when only minor technical changes are required and no new significant environmental impacts or substantial increases in previously identified impacts would result. Although an addendum does not require public circulation, it must be considered by the decision-making body together with the adopted IS-MND before project approval. The Environmental Review Document has been prepared as an addendum to the previously approved Initial Study–Mitigated Negative Declaration (SCH #2021120390) for the City of San Fernando Housing Element Update Project. The draft documents do not propose any new development. The potential impacts of the revised project are consistent with those identified in the approved IS-MND and remain subject to the same mitigation measures for aesthetics, biological resources, cultural resources, geology and soils, hazards and hazardous materials, and tribal cultural resources. No new or substantially more severe impacts would occur. Because the revised project does not cause any conditions under CEQA Guidelines Section 15162, no subsequent IS-MND is required. This addendum is therefore the appropriate level of environmental analysis under CEQA Guidelines Section 15164. **The addendum is not available at this time because the State mandated 90 day Tribal consultation period has not ended. The addendum will be available for the City Council hearing.**

BUDGET IMPACT:

There is no additional funding impacts associated with this update. There is no budget impact associated with this project, as the Comprehensive Housing Element Implementation Program is funded by a \$1,125,000 SCAG REAP 2.0 Grant Program through June 30, 2026. The adoption of the final plan is tentatively scheduled for the City Council on June 15, 2026. However, failure to complete the project by this deadline will result in forfeiture of grant funds.

CONCLUSION:

Staff recommends Planning Commission recommend the City Council adopt Zoning Code Update, Subdivision Code Update, Specific Plan-5 Update, Objective Design Standards, Zoning Map Update, and General Plan Land Use Element Amendment.

ATTACHMENTS:

A. Planning and Preservation Resolution No. 2026-003

B. Zoning Code Update

https://www.sanfernando.gov/files/assets/public/v/1/government/documents/community-development/new-folder/chapter-106-zcu_tracked_ppc_april.pdf

C. Municipal Code Update (Chapter 78, Subdivision)

https://www.sanfernando.gov/files/assets/public/v/1/government/documents/community-development/new-folder/chapter-78-subdivision_tracked_ppc_april.pdf

D. San Fernando Corridors Specific Plan- 5

https://www.sanfernando.gov/files/assets/public/v/1/government/documents/community-development/new-folder/san-fernando_sp-5_trackchange.pdf

E. Objective Design Standards

https://www.sanfernando.gov/files/assets/public/v/1/government/documents/community-development/new-folder/objective-design-standards_ppc_april.pdf

F. San Fernando Zoning Map Update

https://www.sanfernando.gov/files/assets/public/v/1/government/documents/community-development/new-folder/zoning-map-update_ppc_april.pdf

G. Land Use Element Amendment

https://www.sanfernando.gov/files/assets/public/v/1/government/documents/community-development/new-folder/land-use-element_-amendment_ppc_april.pdf

H. Amendment Summary Table

https://www.sanfernando.gov/files/assets/public/v/1/government/documents/community-development/new-folder/zcu-summary-table_ppc_april.pdf

RESOLUTION NO. 003

A RESOLUTION OF THE PLANNING AND PRESERVATION COMMISSION OF THE CITY OF SAN FERNANDO, CALIFORNIA, RECOMMENDING THE CITY COUNCIL OF THE CITY OF SAN FERNANDO ADOPT THE ZONING CODE UPDATE, SUBDIVISION CODE UPDATE, SPECIFIC PLAN-5 UPDATE, OBJECTIVE DESIGN STANDARDS, ZONING MAP UPDATE, AND GENERAL PLAN LAND USE ELEMENT AMENDMENT

WHEREAS, California Constitution Article XI, Section 7, enables the City of San Fernando (the “City”) to enact local planning and land use regulations; and

WHEREAS, the authority to adopt and enforce zoning regulations is an exercise of the City’s police power to protect the public health, safety, and welfare; and

WHEREAS, in June 6, 2022, the City Council adopted Resolution No. 8153 approving and adopting the City of San Fernando 2021-2029 Housing Element, which includes a Housing Plan with Goals, Policies, and Programs aimed at addressing the City’s housing needs; and

WHEREAS, on October 21, 2024, the City Council accepted the Regional Early Action Planning (REAP) 2.0 funding and entered into a Memorandum of Understanding (MOU) with Southern California Association of Governments (SCAG) (Contract No. 2306) to implement the REAP 2.0 Grant Program and help carry out key programs from the City’s 6th Cycle Housing Element. The programs include the evaluation of adaptive re-use opportunities to support housing, streamlining the review process for new housing, and compliance with State housing laws; and

WHEREAS, on March 3, 2025, the City Council approved Contract No. 2343 with Rincon Consultants to implement the REAP 2.0 Grant Program, which includes updating the zoning code to comply with State laws, conduct a historic resource survey, and create clear objective design standards to maintain neighborhood character while streamlining development ; and

WHEREAS, on May 5, 2025, the City Council approved a Community Outreach and Engagement Plan for the REAP 2.0 Grant Program to ensure that the diverse voices and priorities of San Fernando shape the development of critical planning documents that will guide housing production, preserve neighborhood character, and streamline city processes; and

WHEREAS, on August 12, 2025, the Planning and Preservation Commission received a presentation on the Housing Element Implementation Program and provided feedback; and

WHEREAS, on September 15, 2025, the City Council received a presentation on the Housing Element Implementation Program and provided feedback; and

WHEREAS, on February 9, 2026, the Planning and Preservation Commission received a presentation on the Housing Element Implementation Program draft documents and provided feedback; and

WHEREAS, on February 17, 2026, the City Council received a presentation on the Housing Element Implementation Program draft documents and provided feedback; and

WHEREAS, the 6th Cycle Housing Element Policy 5.1 requires amendment of the City's Zoning Code and Specific Plan-5 to comply with recently adopted legislation including, but not limited to: AB 1397, SB 166, AB 1763, SB 1227, AB 2345, AB 130, SB 543, AB 462, AB 1154, AB 2162, AB 101, AB 139, AB 2339, SB 35, SB 6, AB 1584, AB 2533, AB 1211, SB 477, SB 987, AB 2221, AB 450, AB 1061, SB 1287, AB 3116, AB 491, AB 2694, AB 290, AB 1551, SB 87, SB 92, SB 838; and

WHEREAS, in 2025 the State of California passed legislation affecting local zoning regulations including but not limited to: AB 753, AB 234, AB 98, SB 415, AB 2097, AB 2632, and AB 2085.

NOW, THEREFORE, THE PLANNING AND PRESEVATION COMMISION OF THE CITY OF SAN FERNANDO CALIFORNIA, DOES HEREBY FIND, DETERMINE, AND RESOLVE AS FOLLOWS:

SECTION 1. Recitals.

The recitals above are true and correct and incorporated herein by reference.

SECTION 3. Zoning Code Amendment Findings

Pursuant to San Fernando City Code Division 10 the following findings for adoption of the proposed Zoning Code Amendment can be made in a positive manner as follows:

- a. The proposed amendment is consistent with the objectives, policies, general land uses and programs of the city's general plans.

The amendment modernizes and clarifies existing zoning regulations to ensure internal consistency within the Zoning Code and alignment with the City's adopted General Plan. The proposed text amendments support the General Plan's goals related to orderly growth, efficient land use regulation, housing availability, and regulatory clarity. By updating terminology, correcting inconsistencies, and incorporating current State-mandated requirements, the amendment strengthens the City's regulatory framework and enhances the City's ability to effectively implement General Plan policies. The proposed amendment does not intensify development that is currently allowed and provides clearer standards and procedures to support predictable and consistent land use decision-making.

- b. The adoption of the proposed amendment would not be detrimental to the public interest, health, safety, convenience or welfare.

The proposed amendment consists of policy-level and text-based revisions that do not authorize, approve, or facilitate any specific development project and does not intensify development that would already be allowed. As such, the amendment would not result

in direct physical changes to the environment or adversely affect surrounding properties or neighborhoods. Instead, the amendment enhances the clarity and usability of the Zoning Code, reducing ambiguity and the potential for inconsistent interpretation, which in turn promotes orderly development and effective code administration.

Additionally, the amendment ensures continued compliance with applicable State housing and land use laws, thereby preserving the City's eligibility for State and federal housing-related funding programs and supporting the City's ability to plan for and accommodate existing and future housing needs. By maintaining a clear, up-to-date, and legally compliant Zoning Code, the amendment serves the broader public interest and contributes to the protection of public health, safety, and welfare.

SECTION 4. Subdivision Code Amendment Findings

The Subdivision Code was amended to incorporate provisions related to street dedication improvements and common area and off-site improvement bonds that were previously contained in the Zoning Code. These provisions were relocated to the Subdivision Code because they more appropriately pertain to subdivision regulations rather than zoning requirements. This amendment improves clarity and keeps subdivision-related requirements in one consolidated section.

SECTION 5. Specific Plan-5 Amendment Findings

Pursuant to San Fernando City Code Article V. Division 10 the following findings for adoption of the proposed Zoning Code Amendment can be made in a positive manner as follows:

- a. The proposed amendment is consistent with the objectives, policies, general land uses and programs of the city's general plans.

The San Fernando Corridors Specific Plan-5 functions as an implementing document of the General Plan for a defined geographic area encompassing Maclay Avenue, the Downtown area, 1st Street, San Fernando Road, and Truman Street. The proposed amendment furthers General Plan objectives related to housing production, economic vitality, infill development, and efficient use of existing infrastructure by expanding opportunities for residential development and supporting a mix of land uses. The amendment does not alter the fundamental vision or land use framework of the General Plan but instead refines development standards and permitted uses to better implement adopted policies.

- b. The adoption of the proposed amendment would not be detrimental to the public interest, health, safety, convenience or welfare.

The amendment consists of policy level and regulatory updates and does not approve or authorize any specific development project. As such, it does not result in immediate physical impacts. Instead, it strengthens the City's regulatory framework, supports orderly development, and advances long term community planning objectives. By

ensuring consistency with adopted plans and State law, the amendment serves the public interest and contributes to the overall health, safety, and welfare of the community.

SECTION 6. Objective Design Standards Findings

The Objective Design Standards (ODS) were developed through a near year long collaborative process involving City staff, consultants, and guidance from the Planning and Preservation Commission and City Council. Extensive research was conducted on existing City documents, including Specific Plan-5, the Municipal Code, and applicable State laws, to ensure a high-quality and compliant framework. The resulting city-wide Residential and Mixed-Use Objective Design Standards establish clear requirements for site design, building design, landscaping, and architecture to promote neighborhood character while streamlining development in accordance with State law. Architectural styles addressed in the standards include Spanish Colonial Revival, Ranch, Craftsman, Contemporary, Tudor Revival, and Mission Revival.

SECTION 7. Zoning Map Amendment Findings

Pursuant to San Fernando City Code Division 10 the following findings for adoption of the proposed Zoning Code Amendment can be made in a positive manner as follows:

- a. The proposed amendment is consistent with the objectives, policies, general land uses and programs of the city's general plans.

The Zoning Map update reflects changes made to the Zoning Ordinance through the removal of the Mixed-Use Overlay and the establishment of two new mixed-use zoning districts, CMU-1 and CMU-2, which correspond to the City's former C-1 and C-2 commercial designations. While the regulations and development standards applicable to these areas remain substantively unchanged, the reorganization clarifies zoning structure and aligns mapped designations with adopted code provisions. By incorporating mixed-use development standards directly into base zoning districts rather than relying on overlay zones, the amendment reduces the City's exposure to legal challenges. Concurrent amendments to the General Plan Land Use Element to incorporate the CMU-1 and CMU-2 designations ensure internal consistency across all land use planning documents.

- b. The adoption of the proposed amendment would not be detrimental to the public interest, health, safety, convenience or welfare.

The amendment is regulatory and organizational in nature and does not authorize or approve any specific development project. Because development standards and regulations remain unchanged, the amendment does not result in new or increased physical impacts. Instead, it improves legal certainty, promotes orderly development, and ensures compliance with State law, all of which serve the public interest and contribute to the long-term health, safety, and welfare of the community.

SECTION 8. Land Use Element Amendment Findings

Pursuant to San Fernando City Code Division 10 the following findings for adoption of the proposed Zoning Code Amendment can be made in a positive manner as follows:

- a. The proposed amendment is consistent with the objectives, policies, general land uses and programs of the city's general plans.

The amendment adds the CMU-1 (Commercial Mixed-Use Neighborhood) and CMU-2 (Commercial Mixed-Use Corridor) zones as implementing zoning districts for the City's commercial land use designations. This update does not change the underlying commercial land use categories or the City's long-term vision for these areas. Rather, it clarifies how adopted commercial land uses are implemented through the Zoning Code, supporting General Plan objectives related to mixed-use development, housing opportunities, economic vitality, and efficient use of land and infrastructure.

California law requires that a jurisdiction's General Plan and zoning regulations be consistent. The addition of CMU1 and CMU2 to the Land Use Element ensures that the General Plan accurately reflects the City's adopted zoning framework following the removal of the Mixed-Use Overlay and the establishment of base mixed-use zones. This amendment aligns the Land Use Element with the Zoning Ordinance and Zoning Map, eliminating ambiguity regarding how commercial land use designations are implemented and strengthening the City's overall planning framework. The proposed amendment also makes the Land Use Element consistent with the Housing Element.

The amendment is administrative and clarifying in nature. It does not redesignate land, increase allowable densities or intensities, or modify development standards. The CMU-1 and CMU-2 zones implement existing commercial land use designations using updated zoning terminology and structure, ensuring continuity with previously adopted policies while improving regulatory clarity.

- b. The adoption of the proposed amendment would not be detrimental to the public interest, health, safety, convenience or welfare.

The amendment does not authorize or approve any specific development project and does not result in direct physical impacts. Instead, it improves the legal clarity, consistency, and effectiveness of the City's planning documents. By strengthening the relationship between the General Plan and the Zoning Code and ensuring compliance with State law, the amendment serves the public interest and supports orderly, well-planned development that protects the health, safety, and welfare of the community.

SECTION 9. Record of Proceeding

The documents and other materials that constitute the record of the proceedings upon which the Planning and Preservation Commission's decision is based, which include, but are not limited

to, the environmental documents, staff reports, as well as materials that support the staff reports for the proposed project and are located in the Community Development Department of the City of San Fernando at 117 Macneil Street, San Fernando, CA 91340. The custodian of these documents is in the City Clerk of the City of San Fernando.

SECTION 10. Determination

Based on the findings outlined in Sections 1 through 9 above, the Planning and Preservation Commission of the City of San Fernando does hereby recommend that the City Council adopt the Zoning Code Update, Subdivision Code Update, Specific Plan-5 Update, Objective Design Standards, Zoning Map Update, and General Plan Land Use Element Amendment .

SECTION 11. Certification of the Resolution

The Secretary of the Planning and Preservation Commission of the City of San Fernando, California, shall certify the adoption of this resolution.

PASSED, APPROVED, AND ADOPTED this 13th day of April, 2026.

Votes:

AYES:

NOES:

ABSENT:

ABSTAIN:

FRANCISCO SOLORIO, CHAIRPERSON

ATTEST:

JOSE MENDIVIL, SECRETARY TO THE PLANNING
AND PRESERVATION COMMISSION

*This Page
Intentionally
Left Blank*

To: Planning and Preservation Commission Chair Solorio and Commissioners

From: Ronald Garcia, Director of Community Development
Jose Mendivil, Planning Manager

Date: April 13, 2026

Subject: Receive and File the General Plan Housing Element Annual Progress Report for Calendar Year 2025

RECOMMENDATION:

It is recommended that the Planning and Preservation Commission receive and file the General Plan Housing Element Annual Progress Report for Calendar Year 2025 (Attachment "A").

BACKGROUND:

1. Since 1969, the State has required all cities and counties in California to adopt a Housing Element to adequately plan to accommodate each jurisdiction's fair share of housing needs in California. The Housing Element is a chapter of the General Plan that serves as each jurisdiction's blueprint for how it plans to grow and develop during a particular "planning cycle."
2. State law requires that the Housing Element be updated every eight years, including policies and programs to meet existing and future housing needs for the City, as established by the California Department of Housing and Community Development (HCD).
3. On June 6, 2022, the City Council adopted the 2021-2029 (6th Cycle) Housing Element, delineating the City's strategy to address its requirements in alignment with the Regional House Needs Allocation (RHNA) housing planning period 2021-2029.
4. On August 9, 2022, HCD certified the City's 2021-2029 Housing Element as being in full compliance with State housing law.

ANALYSIS:

The Housing Element Annual Progress Report provides the status and progress of each jurisdiction's implementation of its housing element on an annual basis. Government Code Section 65400 establishes the requirement that each jurisdiction prepare an annual report on the status of its Housing Element for the prior calendar year, including the progress of the proposed programs, process in meeting its Regional Housing Needs Allocation (RHNA), and status of the jurisdiction's compliance with the deadlines in its Housing Element. Each jurisdiction is

required to submit an Annual Progress Report to HCD and the Governor’s Office of Land Use and Climate Innovation (LCI), also known as the Governor’s Office of Planning and Research (OPR), by April 1 of each year, reporting data for the prior calendar year.

The 2025 Annual Progress Report (Attachment “A”) reflects the City's progress during the fifth year of the 6th Cycle Housing Element, RHNA planning period from January 1, 2025, to December 31, 2025. The number of units assigned to San Fernando for the 2021-2029 period was 1,795 housing units. It should be noted that the City is not required to construct these units but rather plan for them through the Zoning Code development standards and the Housing Programs adopted as part of the 2021-2029 Housing Element.

In 2025, the City received 54 planning applications for new housing units, approved 87 new housing units, issued 42 building permits, and performed 21 final inspections¹. Table 1 below shows a breakdown of the units and their affordability levels. The method to determine affordability included research on current rental units available in San Fernando and adjacent areas, average rent prices based on bedroom count, and the Housing Affordability Calculator provided by HCD. Note that all units referenced in Table 1 are Non-Deed Restricted.

Table 1: Summary of Planning Approvals, Building Permits, and Certificates of Occupancy 2025.

Entitlement Issued by Affordability 2025	
Income Level	Unit Count
Very Low	0
Low	13
Moderate	8
Above Moderate	2
Total Units	23
Building Permits Issued by Affordability 2025	
Income Level	Unit Count
Very Low	0
Low	21
Moderate	16
Above Moderate	5
Total Units	42
Certificate of Occupancy Issued by Affordability 2025	
Income Level	Unit Count
Very Low	0
Low	9
Moderate	9
Above Moderate	3
Total Units	21

¹ A certificate of occupancy is issued when a new unit completes construction and passes final inspection by the City.

As presented in Table 2 below, the City’s RHNA allocation for the 6th Cycle planning period is 1,795 units. During the fifth planning period, the City issued a total of 42 residential building permits. However, under Senate Bill 35 (SB 35) cities must meet the proportionate share of the RHNA for each of the five income levels (extremely low, very low, low, moderate, and above moderate). The City has four additional years to meet all income level categories.

Table 2:

Income Level	2022-2029 RHNA Allocation	Building Permits Issued per Year									Total Units to Date	Remaining RHNA Target
		2021	2022	2023	2024	2025	2026	2027	2028	2029		
Extremely Low	230	-	-	-	-	-	-	-	-	-	-	-
Very Low	231	-	3	3	-	-	-	-	-	-	6	455
Low	273	10	22	27	29	21	-	-	-	-	124	149
Moderate	284	-	13	15	-	16	-	-	-	-	44	240
Above Moderate	777	2	11	4	27	5	-	-	-	-	52	725
Total	1,795	12	49	49	56	42	-	-	-	-	226	1,569

The City will need to maintain zoning districts that allow for a mix of single-family, multi-family, and mixed-use housing, supported by a variety of programs to enhance affordability, and to accommodate remaining RHNA targets. The City continues to actively implement goals, policies, and programs of the Housing Element. Specifically, certain measures will continue to foster housing and address the RHNA allocation targets for each income level, such as:

- Adoption of the San Fernando Corridors Specific Plan (SP-5) in December 2017;
- State legislation mandating jurisdictions to allow Junior ADU’s (JADU);
- The February 6, 2023, adoption of Ordinance No. 1714 allowing urban lot splits and two-unit development projects in single-family residential (R-1) zones thereby implementing Senate Bill 9; and
- The forthcoming Housing Implementation Plan (HIP) that includes adoption of a Zoning Code Update, Subdivision Code Update, Specific Plan-5 Update, Objective Design Standards, Zoning Map Update, and General Plan Land Use Element Amendment (the HIP is necessary to increase the ability to construct multiple housing types and higher density housing in portions of the City).

ENVIRONMENTAL REVIEW:

The proposed General Plan Housing Element Annual Progress Report for Calendar Year 2025 is not considered a project as prescribed by the California Environmental Quality Act (CEQA); therefore, no further CEQA action is required.

BUDGET IMPACT:

Preparation of the Housing Element Annual Progress Report is included in the annual work program for the Community Development Department. Therefore, funding for the effort is included in the Fiscal Year 2025-2026 Adopted Budget.

CONCLUSION:

Staff recommends that the Planning and Preservation Commission receive and file the Housing Element Annual Progress Report for Calendar Year 2025.

ATTACHMENT:

A. Housing Element Annual Progress Report for Calendar Year 2025

Attachment A

Please Start Here

General Information	
Jurisdiction Name	San Fernando
Reporting Calendar Year	2025
Contact Information	
First Name	Jose
Last Name	Mendivil
Title	Planning Manager
Email	jmendivil@sanfernando.gov
Phone	8188981217
Mailing Address	
Street Address	117 N. Macneil Street
City	San Fernando
Zipcode	91340

Optional: Click here to import last year's data. This is best used when the workbook is new and empty. You will be prompted to pick an old workbook to import from. Project and program data will be copied exactly how it was entered in last year's form and must be updated. If a project is no longer has any reportable activity, you may delete the project by selecting a cell in the row and typing ctrl + d.

[Click here to download APR Instructions](#)

Click here to add rows to a table. If you add too many rows, you may select a cell in the row you wish to remove and type ctrl + d.

v_02_19_26

Jurisdiction	San Fernando	
Reporting Year	2025	(Jan. 1 - Dec. 31)
Housing Element Planning Period	6th Cycle	10/15/2021 - 10/15/2029

Building Permits Issued by Affordability Summary		
Income Level		Current Year
Acutely Low	Deed Restricted	0
	Non-Deed Restricted	0
Extremely Low	Deed Restricted	0
	Non-Deed Restricted	0
Very Low	Deed Restricted	0
	Non-Deed Restricted	0
Low	Deed Restricted	0
	Non-Deed Restricted	21
Moderate	Deed Restricted	0
	Non-Deed Restricted	16
Above Moderate		5
Total Units		42

Units by Structure Type	Entitled	Permitted	Completed
Single-family Attached	1	1	0
Single-family Detached	3	3	0
2 to 4 units per structure	0	0	0
5+ units per structure	0	0	0
Accessory Dwelling Unit	19	38	21
Mobile/Manufactured Home	0	0	0
Total	23	42	21

Infill Housing Developments and Infill Units Permitted	# of Projects	Units
Indicated as Infill	40	42
Not Indicated as Infill	0	0

Housing Applications Summary	
Total Housing Applications Submitted:	54
Number of Proposed Units in All Applications Received:	88
Total Housing Units Approved:	87
Total Housing Units Disapproved:	0

Use of Streamlined Ministerial Approval Process or SMAP (formerly SB 35 / 423) - Applications	
Number of SMAP Applications	0
Number of SMAP Applications Approved	0

Units Constructed - SMAP (formerly SB 35 / 423) - Permits			
Income	Rental	Ownership	Total
Acutely Low	0	0	0
Extremely Low	0	0	0
Very Low	0	0	0
Low	0	0	0
Moderate	0	0	0
Above Moderate	0	0	0
Total	0	0	0

Streamlining Provisions Used - Permitted Units	# of Projects	Units
SB 9 (2021) - Duplex in SF Zone	0	0
SB 9 (2021) - Residential Lot Split	4	4
AB 2011 (2022)	0	0
SB 6 (2022)	0	0
SMAP	0	0

Ministerial and Discretionary Applications	# of	Units
Ministerial	54	88
Discretionary	0	0

Density Bonus Applications and Units Permitted	
Number of Applications Submitted Requesting a Density Bonus	1
Number of Units in Applications Submitted Requesting a Density Bonus	27
Number of Projects Permitted with a Density Bonus	0
Number of Units in Projects Permitted with a Density Bonus	0

Housing Element Programs Implemented and Sites Rezoned	Count
Programs Implemented	11
Sites Rezoned to Accommodate the RHNA	0

Jurisdiction	San Fernando	
Reporting Year	2025	(Jan. 1 - Dec. 31)
Planning Period	6th Cycle	10/15/2021 - 10/15/2029

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

This table is auto-populated once you enter your jurisdiction name and current year data. Past year information comes from previous APRs.
Please contact HCD if your data is different than the material supplied here

Table B														
Regional Housing Needs Allocation Progress														
Permitted Units Issued by Affordability														
		1	Projection Period	2									3	4
Income Level		RHNA Allocation by Income Level	Projection Period - 06/30/2021-10/14/2021	2021	2022	2023	2024	2025	2026	2027	2028	2029	Total Units to Date (all years)	Total Remaining RHNA by Income Level
Acutely Low	Deed Restricted		-	-	-	-	-	-	-	-	-	-	-	-
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-	-	-	-
Extremely Low	Deed Restricted		-	-	-	-	-	-	-	-	-	-	-	-
	Non-Deed Restricted		-	-	-	-	-	-	-	-	-	-	-	-
Very Low	Deed Restricted	461	-	-	-	-	-	-	-	-	-	-	6	455
	Non-Deed Restricted		-	-	3	3	-	-	-	-	-	-	-	-
Low	Deed Restricted	273	-	-	-	-	-	-	-	-	-	-	124	149
	Non-Deed Restricted		15	10	22	27	29	21	-	-	-	-	-	-
Moderate	Deed Restricted	284	-	-	-	-	-	-	-	-	-	-	44	240
	Non-Deed Restricted		-	-	13	15	-	16	-	-	-	-	-	-
Above Moderate		777	3	2	11	4	27	5	-	-	-	-	52	725
Total RHNA		1,795												
Total Units			18	12	49	49	56	42	-	-	-	-	226	1,569

*For years prior to 2025, Acutely Low-Income units are reported within the Extremely Low-Income category

*For jurisdictions that received RHNA determinations for the current cycle prior to the passage of AB 3093 (September 19, 2024):

- You were not allocated Acutely Low-Income and Extremely Low-Income RHNA targets, therefore the allocations in Field 1 are listed as "0"

- If you wish to set your own targets in these income categories for informational purposes, contact HCD staff at apr@hcd.ca.gov.

- All Acutely Low-Income and Extremely Low-Income units reported during the cycle are counted towards Very-Low Income RHNA progress

*For years prior to 2025, data on deed-restricted vs. non-deed restricted Extremely Low-Income units is approximated from whether the projects reported any deed-restricted Very Low-Income Units. If you wish to edit this historical data for accuracy or have any questions about the data, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

Please Note: Table B does not currently contain data from Table F or Table F2 for prior years. You may login to the APR system to see Table B that contains this data.

Please note: The APR form can only display data for one planning period. To view progress for a different planning period, you may login to HCD's online APR system, or contact HCD staff at apr@hcd.ca.gov.

**ANNUAL ELEMENT PROGRESS REPORT
Housing Element Implementation**

Jurisdiction		San Fernando						
Reporting Year		2025 (Jan. 1 - Dec. 31)						
Table D								
Program Implementation Status pursuant to GC Section 65583								
Housing Programs Progress Report								
Describe progress of all programs including local efforts to remove governmental constraints to the maintenance, improvement, and development of housing as identified in the housing element.								
1	2	3	4	5	6	7	8	9
Name of Program	Objective	Projected Completion Date in Housing Element	Applicable Cycle	Status of Program Implementation	Program Implementation Details	Quantified Outcomes: Category	Quantified Outcomes: Count	Supporting Documents
Residential Rehabilitation Loan Program	Assist 20 households during the planning period, subject to available funding.	12/31/2029	6th Cycle	In Progress	The City is in the process of re-establishing the Rehabilitation Loan Program. In October 2025, the City received a conditional award notice for the 2024 Homeownership Super NOFA (HOSN), CalHoms, Round 2, in the amount of \$5,000,000. The grant agreement is currently under review by the California Department of Housing and Community Development.	Households	0	None
Lead Based Paint Awareness	Remediate lead cases. Coordinate with LA County and Pacoima Beautiful on educational programs and identification of funding sources.	12/31/2029	6th Cycle	Continuous	City continues to provide brochures to prospective building permit applicants in compliance with applicable lead based paint abatement procedures.	Households	54	None
Facilitate Affordable and Special Needs Housing Development	Coordinate with affordable housing developers, offer regulatory concessions and incentives, and identify new funding sources to facilitate production of new affordable and special needs housing units.	12/31/2029	6th Cycle	Continuous	No additional deed restricted affordable housing was built in 2025. However, a total of 28 accessory dwelling units were issued planning approval.	Households	0	None
Conservation of Existing and Future Affordable Units	Monitor the status of the existing and future affordable rental stock in San Fernando. Work with property owners, interest groups, and the State and Federal governments to conserve its affordable housing stock.	12/31/2029	6th Cycle	Continuous	City continues to monitor existing deed restricted affordable units on an annual basis.	Households	0	None
Removal of Governmental Constraints	Monitor changes in State and Federal laws and revised City policies, programs and regulations as necessary and appropriate.	12/31/2024	6th Cycle	In Progress	City is in the processing of adopting new zoning regulations ensuring compliance with State mandated housing requirements including, but not limited to: provisions for accessory dwelling units, reasonable accommodation requests, density bonus provisions, supportive and transitional housing provisions, and accommodation of emergency shelters. The City continues to update these regulations in order to streamline the approval process. This effort is being funded by SCAG and will be completed on June 30, 2025	Other	90	https://www.sanfermando.gov/Business-Support/Planning-and-Zoning/General-Plan-Elements-and-Updates
Community Development Department Expansion	Hire a Housing Coordinator to help re-establish the multifamily rental inspection, homeowner rehabilitation, and first time homebuyer programs.	12/31/2029	6th Cycle	Completed	City has hired and Housing Coordinator and continues to post open positions, and conduct interviews to expand the department.	Persons	100	none
Section 8 Rental Subsidies	Coordinate with LA County Community Development Commission to expand the program.	12/31/2023	6th Cycle	Completed	City provides links on its website, City Hall, and other public locations. The City continues to work with LA County Community Development Commission through a cooperative agreement.	Persons	100	https://www.sanfermando.gov/Housing-Social-Services/Housing-Programs
Fair Housing	Contract with the FHCSFV, or another fair housing provider, disseminate brochures; coordinate fair housing education with community events.	12/31/2029	6th Cycle	Continuous	City provides links on its website and a list of housing resources at the public counter to property owners and renters, including a brochure for the Housing Rights Center with offices in San Fernando Valley.	Persons	100	https://www.sanfermando.gov/Housing-Social-Services/Housing-Programs
Affirmatively Futher Fair Housing	Promote housing along with supportive services to meet the special housing needs of seniors,homeless individuals, and families, and the disabled.	12/31/2029	6th Cycle	Continuous	City continues to provide brochures and links on its website, City Hall, and other public locations.	Persons	100	https://www.sanfermando.gov/Housing-Social-Services/Housing-Programs

Homeownership Program	Promote MCC, HOP, and SCHFA programs to expand homeownership.	12/31/2029	6th Cycle	Continuous	City has prepared and distributed a bi-lingual program flyer and updated the City's social media channels with regularly updated resource information.	Persons	100	https://www.sanfernando.gov/Housing-Social-Services/Housing-Programs
Adequate Housing Opportunity Sites for RHNA	Prepare and approve the required General Plan Amendments, Zoning Changes, and update the Corridors Specific Plan to allow for the development of mixed-use and/or residential developments to accommodate the City's 2021-2029 RHNA. In addition, establish and implement the Mixed-Use Overlay district.	10/15/2022	6th Cycle	Completed	City adopted the Mixed Use Overlay zone on February 11, 2025 and continues to meet with landowners to facilitate redevelopment on vacant parcels and severely underutilized parcels within the Housing Opportunity Areas. To further encourage development, the City will evaluate the feasibility of providing landowners and developers a menu of incentives including streamlined/express processing, density bonus incentives, flexible development standards as indicated in the Housing Plan.	Other	100	https://www.sanfernando.gov/files/assets/public/v1/government/documents/community-development/zoning-map-update_public-review-draft.pdf

